

File #: **2020-037**

Owner's Name: SH Marinas 6000, LLC

Applicant: Smith Hawks, PL

Agent: Barton W. Smith, Esq.

Type of Application: LUD Amendment

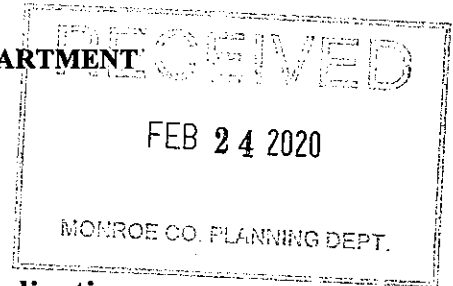
Key: Stock Island

RE #: 00127480-000000

Additional Information added to File 2020-037

End of Additional File 2020-037

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Land Use District (Zoning) Map Amendment Application

An application must be deemed complete and in compliance with the Monroe County Comprehensive Plan and Code by the staff prior to the item being scheduled for review

Application Fee: \$5,570.00

The base fee includes two internal staff meetings with applicants; one Development Review Committee meeting, one Planning Commission public hearing; and one Board of County Commission public hearing. If this minimum number of meetings/hearings is exceeded, additional fees shall be charged pursuant to Fee Schedule Resolution and paid prior to the private application proceeding through public hearings.

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification (SPON): \$3.00 for each property owner required to be noticed

Transportation Study Review: \$5,000.00 Deposit (any unused funds will be returned upon approval)

Advertising and Noticing Fees for Community Meeting: \$245.00 plus \$3.00/SPON

Date of Request: 02 / 21 / 2020
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

SMITH / HAWKS, PL

BARTON W. SMITH, ESQ

Applicant (Name of Person, Business or Organization)

Name of Person Submitting this Application

138 SIMONTON STREET, KEY WEST, FLORIDA 33040

Mailing Address (Street, City, State and Zip Code)

(305) 296-7227

BART@SMITHHAWKS.COM

Work Phone

Home Phone

Cell Phone

Email Address

Property Owner: (Business/Corp must include documents showing who has legal authority to sign.)

SH MARINAS 6000 LLC

c/o AGENT

(Name/Entity)

Contact Person

c/o AGENT

Mailing Address (Street, City, State and Zip Code)

c/o AGENT

c/o AGENT

Work Phone

Home Phone

Cell Phone

Email Address

Legal Description of Property (if in metes and bounds, please attach separate sheet):

See Attached	STOCK ISLAND		
Block	Lot	Subdivision	Key Name
00127480-000000		1161667	
Real Estate (RE) Number		Alternate Key Number	
6000 PENINSULAR Ave, STOCK ISLAND, FLORIDA 33050		5	
Street Address		Approximate Mile Marker	

Current Future Land Use Map Designation(s): MIXED USE/COMMERCIAL (MC)

Current Land Use District (Zoning) Designation(s): MIXED USE (MU)

Proposed Land Use District (Zoning) Designation(s): DESTINATION RESORT (DR)

Total Land Area Affected by Proposed Land Use District (in acres): 13.14

Tier Designation(s): Tier III

Is the property located within the Military Installation Area of Impact (MIAI): ☒ Yes ☐ No

Existing Use of the Property (If the property is developed, please describe the existing use of the property, including the number and type of any residential units and the amount and type of any nonresidential development):

See attached letter.

Please describe the reason for the proposed Land Use District amendment (attach additional sheets if necessary):

See attached letter.

The Board of County Commissioners may consider an amendment if the change is based on one or more of the following factors. Please describe how one or more of the following factors shall be met (attach additional sheets if necessary):

- 1) **Changed projections (e.g. regarding public service needs) from those on which the text was based**

See Attached

- 2) **Changed assumptions (e.g. regarding demographic trends):**

See Attached

- 3) **Data errors, including errors in mapping, vegetative types and natural features:**

See Attached

- 4) **New issues:**

See Attached

- 5) **Recognition of a need for additional detail or comprehensiveness:**

See Attached

6) **Data updates:**

See Attached

In no event shall an amendment be approved which will result in an adverse community change of the planning area in which the proposed development is located or to any area in accordance with a Livable CommuniKeys master plan. Please describe how the text amendment would not result in an adverse community change (attach additional sheets if necessary):

See attached letter.

* * * * *

Applicants requesting a Land Use District (Zoning) Map Amendment shall provide for community participation through a community meeting, as indicated in Code Section 102-159.

Scheduling. The applicant will coordinate with the Planning Director regarding the date, time and location of the proposed community meeting; however, all meetings are to be held on a weekday evening at a location close to the project site, between 45 - 120 days prior to any of the public hearings.

Notice of Meeting. The community meeting shall be noticed at least 15 days prior to the meeting date by advertisement in a Monroe County newspaper of general circulation, mailing of notice to surrounding property owners, and posting of the subject property.

Noticing and Advertising Costs. The applicant shall pay the cost of the public notice and advertising for the community meeting and provide proof of proper notice to the Planning Director.

The community meeting shall be facilitated by a representative from the Monroe County Planning & Environmental Resources Department and the applicant shall be present at the meeting.

PROOF OF PROPER NOTICING ON THE COMMUNITY MEETING WILL BE REQUIRED.

* * * * *

All of the following must be submitted in order to have a complete application submittal:
(Please check as you attach each required item to the application)

- ☒ Completed application form (unaltered and unbound)
- ☒ Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- ☒ Proof of ownership (i.e., Warranty Deed) Tab A
- ☒ Ownership Disclosure Form Tab B
- ☒ Current Property Record Card(s) from the Monroe County Property Appraiser Tab C
- ☒ Location map Tab D
- ☒ Photograph(s) of site(s) from adjacent roadway(s) Tab E
- ☒ Signed and Sealed Boundary Survey(s), prepared by a Florida registered surveyor – eight (8) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; total acreage by habitat; and total upland area Tab F
- ☒ Typed name and address mailing labels of all property owners within a 600 foot radius of the property(s) – (three sets). This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included Tab G
- ☒ Copy of current Land Use District Map (request from the Planning & Environmental Resources Department prior to application submittal) Tab H
- ☒ Copy of current Future Land Use Map (request from the Planning & Environmental Resources Department prior to application submittal) Tab I

If applicable, the following must be submitted in order to have a complete application submittal:

- ☒ **Notarized Agent Authorization Letter** (note: authorization is needed from all owner(s) of the subject property) Tab J
- ☐ Traffic Study, prepared by a licensed traffic engineer (*required if application affects specific and defined area*) N/A
- ☒ Transportation fee of \$5,000 to cover the cost of experts hired by the Department to review the traffic study – any unused funds deposited will be returned upon approval (*required if application affects specific and defined area*)

If deemed necessary to complete a full review of the application, within reason, the Planning & Environmental Resources Department reserves the right to request additional information.

Additional fees may apply pursuant to the approved fee schedule.

* * * * *

Has a previous application been submitted for this site(s) within the past two years? ☐ Yes ☒ No

Is there a pending code enforcement proceeding involving all or a portion of the parcel(s) proposed for development? ☐ Yes ☒ No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

* * * * *

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: _____

Date: February 21, 2020

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me this 21st day of FEBRUARY, 2020

by BARTON W. SMITH who is personally known to me ☒ OR
produced

(PRINT NAME OF PERSON MAKING STATEMENT)

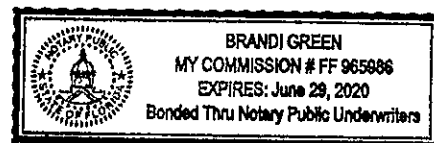
(TYPE OF ID PRODUCED)

as identification.

Brandi Green
Signature of Notary Public

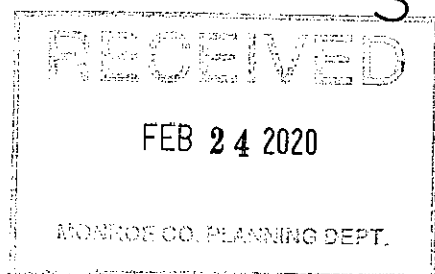
BRANDI GREEN

Print, Type or Stamp Commissioned Name of Notary Public
My commission expires: 06/29/2020



Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050



SMITH/HAWKS

ATTORNEYS AT LAW

Barton Smith, Esq.
Telephone: (305) 296-7227
Facsimile: (305) 296-8448
Email: Bart@SmithHawks.com

SENT VIA EMAIL AND FEDEX
7778 0827 6529

February 21, 2020

Emily Schemper, Sr. Director Planning & Environmental Resources
Comprehensive Planning Manager
Monroe County Planning & Environmental Resources Department
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Email: Schemper-Emily@MonroeCounty-FL.Gov

Re: **SH Marinas 6000, LLC- Proposed Land Use District Zoning Amendment for Parcel ID No.: 00127480-000000**

Dear Emily,

Please find enclosed SH MARINAS 6000, LLC's ("Applicant") Land Use District Map ("LUD") Amendment for the property located at 6000 Peninsular Avenue with Parcel ID No. 00127480-000000 ("Property"). The Application is seeking to amend the zoning of the Property from Mixed Use ("MU") to Destination Resort ("DR"), which is the more appropriate zoning district for the Property's location, size and current and proposed development.

Additionally, please allow this letter to serve as data and analysis in support of the proposed LUD zoning amendment request. Please find included: 1) the original LUD zoning map amendment application package; 2) a copy of the application package for date stamp return using the included self-addressed envelope; and 3) Check No. 001272 in the amount of \$5,000.00 for the Transportation Fee and Check No. .001271 in the amount of \$6,906.00 for the Application Fee.

I. Amendment Background

a. Overview

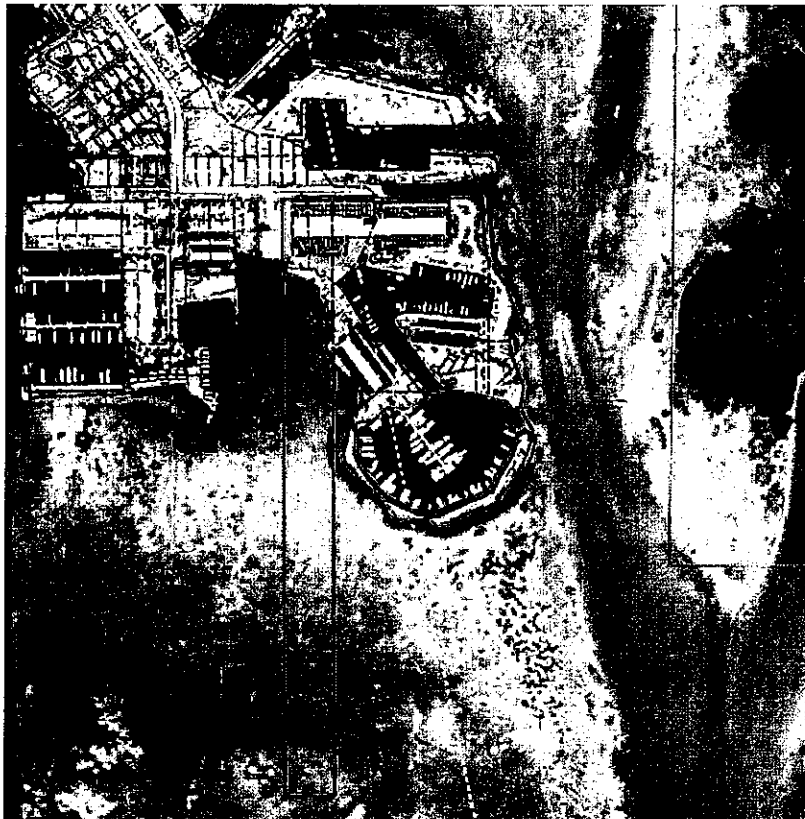
The Application proposes to amend the LUD map zoning district from MU to DR ("Amendment"). The Amendment will allow the Applicant to achieve the highest possible use of the Property's 13.3 acres, including utilization of eighty (80) market rate ROGOs eligible for transfer from Wrecker's Cay Apartments at Stock Island, LLC and forty (40) market ROGOs eligible for transfer from Banyan Grove while maintaining the current marina dry rack use and wet slips. Section 130-34 of the LDC describes the purpose of DR zoning districts as:

The purpose of the DR district is to establish areas suitable for the development of planned tourist centers providing on-site residential, recreational, commercial and entertainment facilities of a magnitude sufficient to attract visitors and tourists for tenancies of three or more days. Destination Resorts are contemplated to contain:

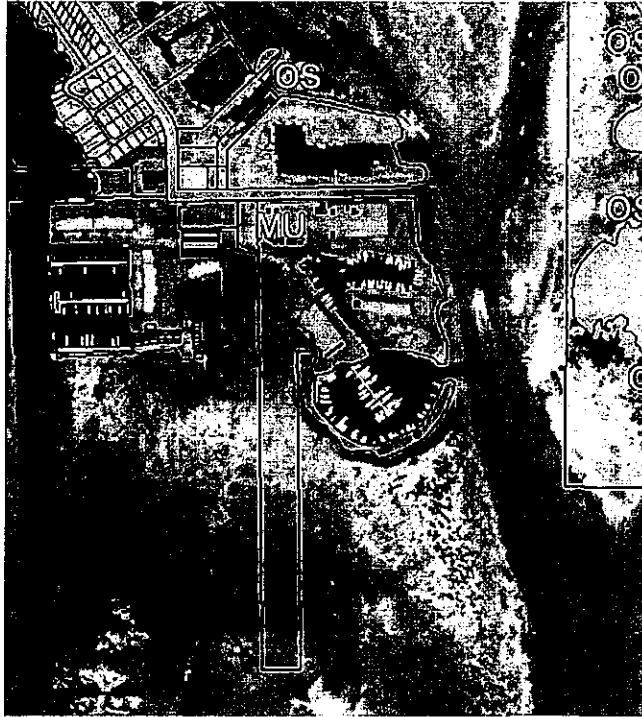
- (1) Single-family homes as of right; or
- (2) One or more resort hotels as the principal use, to use the water-related natural resources of the Keys, and to be located on sites of at least ten gross acres where the location and character of the site and the development itself and amenities are such that off-site impacts will be reduced.

The Property is expansive enough to house one or more resorts, is almost entirely surrounded by the beautiful clear Florida Keys waters, has gross acreage of greater than 10 acres and is secluded enough to attract tourists and visitors while maintaining and developing all the amenities needed to self-contain the Property and reduce off-site impacts normally associated with an increase in transient visitors.

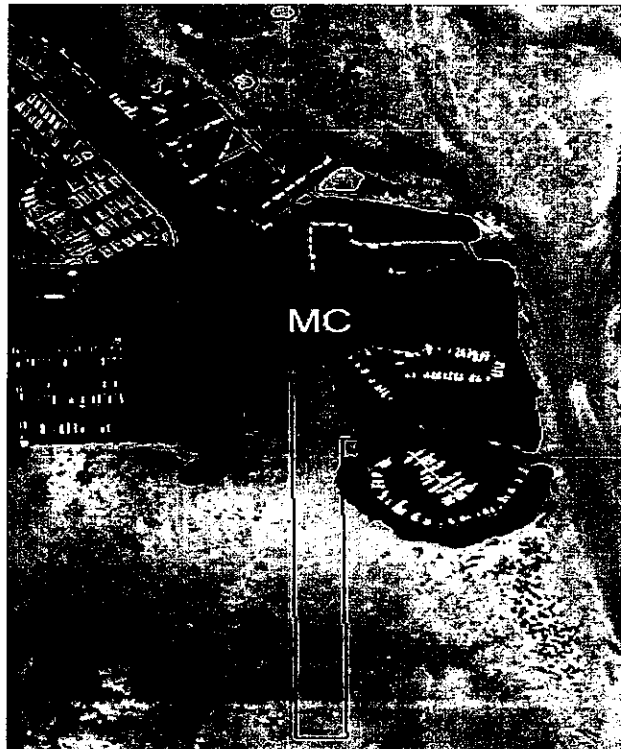
A depiction of the Property is set forth below:



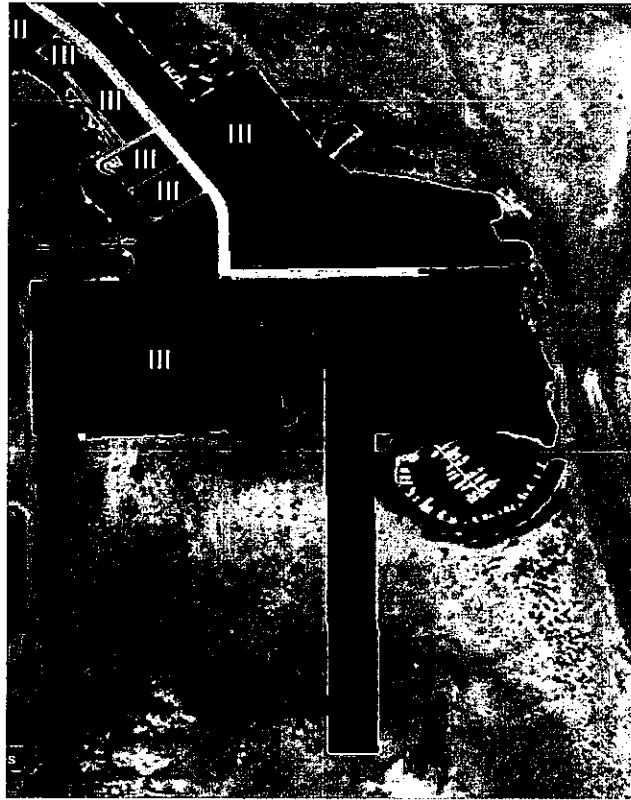
The Property is currently zoned MU, *See* below.



The Future Land Use Map associated with the Property is Mixed Use/Commercial (“MC”), *See* below:



The Property has a Tier III designation on the Tier Overlay District Map, See below:



II. The Proposed Amendment

(a) Land Use District Map Amendment.

Property Owner	RE No.	Property Address	Acreage for LUD zoning Amendment	Current LUD	Proposed LUD	FLUM	Tier Designation
SH Marinas 6000, LLC	00127471-000000	6000 Peninsular Avenue, Stock Island	13.14 acres	MU	DR	MCU	III

III. Permitted Uses for Each Land Use District Map

Section 130-88. Mixed Use District (MU):

- a. The following uses are permitted as of right in MU zoning districts:
 - (1) Detached dwellings;
 - (2) Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of less than 2,500 square feet of floor area;
 - (3) Institutional residential uses, involving less than ten dwelling units or rooms;
 - (4) Commercial apartments involving less than six dwelling units, but tourist housing use, including vacation rental use, of commercial apartments is prohibited;
 - (5) Commercial recreational uses limited to:
 - a. Bowling alleys;
 - b. Tennis and racquet ball courts;
 - c. Miniature golf and driving ranges;
 - d. Theaters;
 - e. Health clubs; and
 - f. Swimming pools;
 - (6) Commercial fishing;
 - (7) Institutional uses;
 - (8) Public buildings and uses;
 - (9) Home occupations—Special use permit required;
 - (10) Parks;
 - (11) Accessory uses;
 - (12) Vacation rental use of detached dwelling units is permitted if a special vacation rental permit is obtained under the regulations established in section 134-1;
 - (13) Replacement of an existing antenna-supporting structure pursuant to section 146-5(b);
 - (14) Collocations on existing antenna-supporting structures, pursuant to section 146-5(c);
 - (15) Attached wireless communications facilities, as accessory uses, pursuant to section 146-5(d);
 - (16) Stealth wireless communications facilities, as accessory uses, pursuant to section 146-5(e);
 - (17) Satellite earth stations less than two meters in diameter, as accessory uses, pursuant to section 146-5(f);
 - (18) Attached and detached dwellings involving less than six units, designated as employee housing as provided for in section 139-1; and
 - (19) Wastewater nutrient reduction cluster systems that serve less than ten residences.
- b. The following uses are permitted as minor conditional uses in the mixed use district, subject to the standards and procedures set forth in chapter 110, article III:

- (1) Attached dwellings, provided that:
 - a. The total number of units does not exceed four; and
 - b. The structures are designed and located so that they are visually compatible with established residential development within 250 feet of the parcel proposed for development;
- (2) Commercial recreation uses (indoor and outdoor), excluding amusement or sea life parks and drive-in theaters, provided that:
 - a. The parcel of land proposed for development does not exceed five acres;
 - b. The parcel proposed for development is separated from any established residential use by a class C buffer yard; and
 - c. All outside lighting is designed and located so that light does not shine directly on any established residential use;
- (3) Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of greater than 2,500 but less than 10,000 square feet of floor area, provided that access to U.S. 1 by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
- (4) Commercial retail, office, restaurant uses, or any combination thereof, of high intensity, and of less than 2,500 square feet of floor area, provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
- (5) Commercial apartments involving six to 18 dwelling units, provided that:
 - a. The hours of operation of the commercial uses are compatible with residential uses;
 - b. Access to U.S. 1 is by way of:
 1. An existing curb cut;
 2. A signalized intersection; or
 3. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
 - c. Tourist housing uses, including vacation rental uses, of commercial apartments are prohibited;
- (6) Institutional residential uses involving ten or more dwelling units or rooms, providing that:
 - a. The use is compatible with land use established in the immediate vicinity of the parcel proposed for development;
 - b. Access to U.S. 1 is by way of:
 1. An existing curb cut;
 2. A signalized intersection; or
 3. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

- c. Tourist housing uses, including vacation rental use, of institutional dwelling units is prohibited;
 - (7) Hotels of fewer than 50 rooms, provided that one or more of the following amenities is available to guests:
 - a. Swimming pool; or
 - b. Docking facilities; or
 - c. Tennis courts;
 - (8) Campgrounds and recreational vehicle parks, provided that:
 - a. The parcel proposed for development has an area of at least five acres;
 - b. If the use involves the sale of goods and services, other than the rental of camping sites or recreational vehicle parking spaces, such use does not exceed 1,000 square feet and is designed to serve the needs of the campground; and
 - c. The parcel proposed for development is separated from all adjacent parcels of land by at least a class C buffer yard;
 - (9) Light industrial uses, provided that:
 - a. The parcel proposed for development is less than two acres;
 - b. The parcel proposed for development is separated from any established residential use by at least a class C buffer yard; and
 - c. All outside storage areas are screened from adjacent uses by a solid fence wall or hedge at least six feet in height;
 - (10) Satellite earth stations greater than or equal to two meters in diameter, as accessory uses, pursuant to section 146-5(f); and
 - (11) Attached and detached dwellings involving six to 18 units, designated as employee housing as provided for in section 139-1.
- c. The following uses are permitted as major conditional uses in the mixed-use district subject to the standards and procedures set forth in chapter 110, article III:
- (1) Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of greater than 10,000 square feet in floor area, provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
 - (2) Commercial retail, office, restaurant uses, or any combination thereof, of high intensity, and of greater than 2,500 square feet in floor area, provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

- (3) Attached dwelling units, provided that:
 - a. The structures are designed and located so that they are visually compatible with established residential development within 250 feet of the parcel proposed for development; and
 - b. The parcel proposed for development is separated from any established residential use by a class C buffer yard;
- (4) Marinas, provided that:
 - a. The parcel proposed for development has access to water at least four feet below mean sea level at mean low tide;
 - b. The sale of goods and services is limited to fuel, food, boating, diving and sport fishing products;
 - c. All outside storage areas are screened from adjacent uses by a solid fence, wall or hedge at least six feet in height; and
 - d. Each nonwaterside perimeter setback of the parcel proposed for development must have a class C buffer yard within a side yard setback of ten feet;
- (5) Hotels providing 50 or more rooms, provided that:
 - a. The hotel has restaurant facilities on the premises;
 - b. One or more of the following amenities are available to guests:
 - i. Swimming pool; or
 - ii. Docking facilities; or
 - iii. Tennis courts; and
 - c. access to U.S. 1 is by way of:
 - i. An existing curb cut;
 - ii. A signalized intersection; or
 - iii. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
 - d. The parcel proposed for development is separated from any established residential use by a class C buffer yard;
- (6) Heliports or seaplane ports, provided that:
 - a. The heliport is associated with a governmental service facility, a law enforcement element or a medical services facility;
 - b. The heliport or seaplane port is a Federal Aviation Administration certified landing facility;
 - c. The landing and departure approaches do not pass over established residential uses or known bird rookeries;
 - d. If there are established residential uses within 500 feet of the parcel proposed for development, the hours of operation for non-emergency aircraft shall be limited to daylight; and
 - e. The use is fenced or otherwise secured from entry by unauthorized persons;
- (7) Light industrial uses, provided that:
 - a. The parcel proposed for development is greater than two acres;
 - b. The parcel proposed for development is separated from any established residential use by a class C buffer yard; and

- c. The use is compatible with land uses established in the immediate vicinity of the parcel proposed for development;
- (8) Commercial recreation uses (indoor and outdoor), including amusement or sea life parks and drive-in theaters, provided that:
 - a. The parcel of land has an area of at least two acres;
 - b. The parcel is separated from residential districts IS, SR, SR-L, SS, UR, URM, URM-L or established residential uses by at least a class E buffer; and
 - c. Access to U.S. 1 is by way of:
 - i. An existing curb cut;
 - ii. A signalized intersection; or
 - iii. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
- (9) Agricultural uses, limited to mariculture;
- (10) New antenna-supporting structures, pursuant to section 146-5(a);
- (11) Attached and detached dwellings involving more than 18 units, designated as employee housing as provided for in section 139-1;
- (12) Wastewater treatment facilities and wastewater treatment collection systems serving uses located in any land use district, provided that:
 - a. The wastewater treatment facility and wastewater treatment collection systems are in compliance with all federal, state, and local requirements;
 - b. The wastewater treatment facility, wastewater treatment collection systems and accessory uses shall be screened by structures designed to be architecturally consistent with the character of the surrounding community and shall minimize the impact of any outdoor storage, temporary or permanent; and
 - c. In addition to any district boundary buffers set forth in chapter 114, article V, a planting bed, eight feet in width, to be measured perpendicular to the exterior of the screening structure shall be established with the following:
 - i. One native canopy tree for every 25 linear feet of screening structure;
 - ii. One understory tree for every ten linear feet of screening structure and the required trees shall be evenly distributed throughout the planting bed;
 - iii. The planting bed shall be installed as set forth in chapter 114, article IV; and
 - iv. A solid fence may be required upon determination by the planning director.

Section 130-81. Destination Resort (DR):

- a. The following uses are permitted as of right in the Destination Resort district:
 - (1) Detached dwellings;
 - (2) Vacation rental use if a special vacation rental permit is obtained under the regulations established in section 134-1;

- (3) Collocations on existing antenna-supporting structures, pursuant to section 146-5(c);
 - (4) Replacement of an existing antenna-supporting structure pursuant to section 146-5(b);
 - (5) Attached wireless communications facilities, as accessory uses, pursuant to section 146-5(d);
 - (6) Stealth wireless communications facilities, as accessory uses, pursuant to section 146- 5(e); and
 - (7) Satellite earth stations, as accessory uses, pursuant to section 146-5(f).
- b. The following uses are permitted as minor conditional uses in the destination resort district, subject to the standards and procedures set forth in chapter 110, article III:
- (1) Hotels, provided that:
 - a. The hotel has restaurant facilities on the premises that will accommodate no less than one-third of all hotel guests at maximum occupancy at a single serving;
 - b. There are at least two satellite eating and drinking facilities, each accommodating at least 25 persons;
 - c. A separate meeting/conference and entertainment area that can also function as a banquet facility;
 - d. A lobby that provides 24-hour telephone and reservation service;
 - e. Active and passive recreation land-based activities are available, with a minimum of tennis courts or racquetball courts, or a spa/exercise room, provided at the standards given below and at least two additional active and one additional passive recreational facility, including, but not limited to, the following:

<i>Active Recreational Facilities</i>	
Tennis court	1/25 units
Racquetball court	1/25 units
Spa/exercise room, of no less than 500 square feet	1/150 units
Dance floor	1/hotel
Playfield/playground	1/150 units
Miniature golf course	1/hotel
Golf course	1/hotel
Shuffleboard court, or other court games	2/50 units
Fitness course	1/hotel
<i>Passive Recreational Facilities</i>	
Nature trail walk	1/hotel
Game room	1/150 units
Garden area	1/hotel
Observation area	1/hotel
Other uses may be substituted for these with the written approval of the director of planning stating the standards used and the manner in which guests will be served by such facilities. The director of planning shall base his decision on generally accepted industry standards for comparable destination resorts;	

- f. Active and passive water-oriented recreational facilities are available, a minimum of a swimming pool, or swimming areas, at the rate of seven square feet of water surface (excluding hot tubs and Jacuzzi) per hotel room (this requirement may be converted to linear feet of shoreline swimming area at a ratio of one linear foot of beach per seven square feet of required water surface);
 - g. Access to U.S. 1 is by way of:
 - i. An existing curb cut;
 - ii. A signalized intersection; or
 - iii. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
 - h. Each hotel establishes and maintains shuttle transport services to airports and tourist attractions to accommodate ten percent of the approved floor area in guest rooms; and such housing shall be of any of the following types: dormitory, studio, one bedroom, two bedrooms and shall be in addition to the approved hotel density and shall be used exclusively by employees qualifying under the employee housing provisions elsewhere in this chapter;
 - i. On-site employee housing living space is provided in an amount equal to ten percent of the approved floor area in guest rooms; and such housing shall be of any of the following types: dormitory, studio, one bedroom, two bedrooms and shall be in addition to the approved hotel density and shall be used exclusively by employees qualifying under the employee housing provisions elsewhere in this chapter; and
 - j. Commercial retail is provided at a minimum of 200 square feet to include convenience retail, food sales and gifts in one or more sites, excluding restaurants as required by subsection (b)(1) of this section, and in addition one and 1.3 square feet commercial retail per each guest room greater than 150 rooms. Additional commercial retail may be provided subject to the floor area ratio limitations of this chapter. Commercial retail may consist of dive shops, boat rentals, gift shops, barber/beauty services, travel agencies, provided that there is no extension signage advertising these amenities to the general public. Water-related services and activities shall be located immediately proximate to the water unless otherwise prohibited.
- c. The following uses are permitted as major conditional uses in the destination resort district, subject to the standards and procedures set forth in chapter 110, article III:
- (1) Marinas, provided that:
 - a. There are a minimum of seven boat slips, but the total number of boats stored on-site or elsewhere for guests or employees shall be no greater than one per hotel room;
 - b. The parcel for development has access to water at least four feet below mean sea level at mean low tide;

- c. The sale of goods and services is limited to fuel, food, boating, and sport fishing products;
 - d. All boat storage shall be confined to wet slips or enclosed dry storage;
 - e. All storage areas are screened from adjacent uses by a solid fence, wall, or hedge of at least six feet in height; and elevated racks, frames, or structures shall be enclosed on at least three sides from the ground to the highest point of the roof;
 - f. All storage areas are screened from adjacent uses by a solid fence, wall, or hedge of at least six feet in height; and elevated racks, frames, or structures shall be enclosed on at least three sides from the ground to the highest point of the roof;
 - g. Live-aboard vessels are prohibited;
- (2) Attached and detached dwellings, designated as employee housing as provided for in section 139, provided that:
- a. They are built for and occupied by employees of the destination resort facilities;
 - b. The total area is no less than ten percent of the approved floor area in guest rooms of the resort/hotels within the development;
 - c. The structures are designed and located so that they are visually compatible with established residential development within 250 feet of the parcel proposed for development; and
 - d. The parcel proposed for development is separated from any established residential use by a class C buffer yard;
- (3) Attached dwelling units;
- (4) New antenna-supporting structures, pursuant to section 146-5(a);
- (5) Wastewater treatment facilities and wastewater treatment collection systems serving uses located in any land use district, provided that:
- a. The wastewater treatment facility and wastewater treatment collection systems are in compliance with all federal, state, and local requirements;
 - b. The wastewater treatment facility, wastewater treatment collection systems and accessory uses shall be screened by structures designed to be architecturally consistent with the character of the surrounding community and shall minimize the impact of any outdoor storage, temporary or permanent; and
 - c. In addition to any district boundary buffers set forth in chapter 114, article V, a planting bed, eight feet in width, to be measured perpendicular to the exterior of the screening structure shall be established with the following:
 - 1. One native canopy tree for every 25 linear feet of screening structure and one understory tree for every ten linear feet of screening structure;
 - 2. The required trees shall be evenly distributed throughout the planting bed;
 - 3. The planting bed shall be installed as set forth in chapter 114, article IV; and
 - 4. A solid fence may be required upon determination by the planning director.

IV. Analysis of Maximum Densities for Permanent Residential

Existing LUD	Allocated Density(a)(b) DU/Gross Acre of Upland	Maximum Net Density(a)(b)(c) DU /Buildable Acre	Minimum Open Space Ratio(d)
Mixed Use ("MU") 1. Hotel	1.0	12.0 ¹	0.20
Calculations	13.14 acres x 1.0/Gross acre =13 DU	10.49 acres x 12.0/buildable acre = 125.88	
Destination Resort ("DR")	1.0	18.0	0.20
Calculations	13.14 acres x 10.0/Gross acre= 130 Rooms	10.49 acres x 18.0/Buildable acre = 188.82	
Net Change	0	+ 62.94	0

V. Analysis of Maximum Densities for Hotel/Motel, Campground, RV, Seasonal and Institutional Residential Uses and Minimum Open Space

Existing LUD	Allocated Density(a)(b) Rooms or Spaces/Gross Acre of Upland	Maximum Net Density(a)(b)(c) Rooms or Spaces /Buildable Acre	Minimum Open Space Ratio(d)
Mixed Use ("MU") 1. Hotel	10.0	15.0 ²	0.20
Calculations	13.14 acres x 10.0/Gross acre =130 Rooms	10.49 acres x 15.0/buildable acre = 157.35	
Destination Resort ("DR")	10.0	25.0	0.20
Calculations	13.14 acres x 10.0/Gross acre= 130 Rooms	10.49 acres x 25.0/Buildable acre = 262.25	
Net Change	0	+ 104.9	0

¹ For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/ Commercial and Mixed Use/ Commercial Fishing future land use categories, the maximum net density bonuses shall not be available.

² For properties consisting of hammocks, pinelands or disturbed wetlands within the Mixed Use/ Commercial and Mixed Use/ Commercial Fishing future land use categories, the maximum net density bonuses shall not be available.

VI. Analysis of Proposed Intensities

Existing LUD	Type	Nonresidential Maximum Intensity	Development Potential
Mixed Use			
	Low Intensity Commercial Retail or Restaurant	0.35	4.6 acres
	Medium Intensity Commercial Retail or Restaurant	0.25	3.3 acres
	High Intensity Commercial Retail or Restaurant	0.15	1.9 acres
	Office	0.40	5.3 acres
	Commercial Fishing	0.40	5.3 acres
	Light Industrial	0.30	3.9 acres
	Institutional	0.30	3.9 acres
	Public Buildings/Uses	0.30	3.9 acres
	Commercial Recreation	0.25	3.3 acres
Proposed LUD			
Destination Resort	Commercial Use Associated with Hotel	0.25	3.3 acres

VII. Reasons for Proposed LUD Amendment:

- a. **Destination Resort allows utilization of Wrecker's Cay Market Rate ROGOS to develop affordable housing and allow the Highest and Best Use for the Property.**

Recently, Wrecker's Cay Apartments at Stock Island, LLC (Wrecker's Cay) obtained approval to redevelop its property on Stock Island into a Two Hundred Eighty (280) Unit workforce housing development. The ability to deliver Seventy (70) low income and Seventy (70) median income units is dependent on the Property being capable of utilizing the units as attached multi-family dwelling units capable of utilization as vacation rentals. The acquisition and utilization of Wrecker's Cay's market rate units provides viability for the Wrecker's Cay affordable housing project and allows the Property to be utilized to its highest and best use.

The Property already operates as a private, gated membership only yacht club and is in a secluded and private area on Stock Island. The 13.14 acres are only accessible via Peninsular Avenue, which connects to Maloney Avenue, and then connects to US 1 via 3rd street and Macdonald Avenue. The Property is surrounded by the beautiful waters of the Florida Keys. Given the nature, location, and size of the Property, allows for destination resort attracting visitors

by vessel and by other forms of transportation. Its proximity to Key West's international airport provides a suitable location to transport tourists to the location by plane minimizing tourists that may drive to the resort which is common in the unincorporated County for all areas outside Stock Island. Utilization of the Property for this purpose falls squarely in line with the purpose of a DR zoning district under the Monroe County LDC.

The residential and transient allocated density for the Property does not change whether it is in a MU zoning district or a DR zoning district. An important aspect of the DR purpose under section 130-34 of the LDC is the decrease in negative impacts outside the district. A change from MU to DR for this Property would limit the expansion of non-residential uses such as retail, offices, restaurants, bowling alleys, miniature golf courses, health clubs, and swimming pools³. Expansion of the commercial uses on this Property would increase traffic flow to and from the Property.

b. The Property allows Utilization of the water-related natural resources of the Keys

The Property is surrounded, on three sides, by the natural waters of the Florida Keys. Additionally, there is water access and boat barns located on the Northern and Western portion of the Property that will remain in place. *See below.*



The Property clearly has an abundance of water access and would allow guests of the resort or Property to actively utilize the water-related natural resources of the Keys, which is a main part of the DR zoning district purpose under the LDC. Therefore, a DR zoning district is a more appropriate zoning district for the Property.

³ See, Section 130-88 above for full list of non-residential uses that MU zoning has as of right.

c. Attraction of Visitors and Tourists to the Area

Tourism in the Keys is a vital and integral part of the County and the City of Key West's economies. According to the Florida Department of Revenue, in 2018 tourism generated \$1,860,610,309 in taxable sales for Monroe County.⁴ Even more importantly, the data shows that over half of that amount was derived from transient room rentals in the County, *See below*:

Tourism Transient Room Revenue

<u>Year</u>	<u>Monroe County</u>	<u>Key West</u>
2010	510,649,000	296,206,000
2011	599,726,000	349,859,000
2012	656,312,000	383,529,000
2013	721,137,000	418,129,000
2014	809,437,000	456,386,000
2015	901,891,000	506,198,000
2016	944,181,000	529,118,000

Source: Monroe County Tax Collector
 Updated: May 2017

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Having a 13.14-acre waterfront property in the lower Keys, presents an extraordinary opportunity to increase tourism by both land and sea and maximize the economic output of the Property and the area. An MU zoning district presents obstacles to the development required to maximize the potential of the Property. The Proposed Amendment will allow the Property to house a large transient resort and keep the existing marina. Additionally, the following statistics provided by the *Monroe County Tourist Development Council*:

Florida Keys Visitor Person-Trip Estimates

	2011	2012	2013	2014	2015	2016	2017	2018
Key West Overnight Visitors	1,577,500	1,588,607	1,688,845	1,748,238	1,751,081	1,743,922	1,673,661	1,734,397
Key West Day Trippers	313,300	311,337	314,915	309,200	315,438	317,500	309,250	312,475
Cruise Ship Passengers	811,458	813,713	765,132	796,960	726,937	696,887	762,079	861,192
Total Key West Visitors	2,702,258	2,713,658	2,768,892	2,854,398	2,793,456	2,758,309	2,744,990	2,908,064
Key West Lodging Occupancy %:	82.5%	82.6%	86.3%	87.1%	85.4%	83.6%	79.9%	83.9%
All Keys Overnight Visitors	3,042,500	3,126,165	3,290,267	3,400,763	3,397,272	3,434,718	3,283,578	3,349,892
All Keys Day Trippers	820,000	850,000	850,000	850,000	875,000	900,000	900,000	900,000
Cruise Ship Passengers	811,458	813,713	765,132	796,960	726,937	696,887	762,079	861,192
Total All Keys Visitors	4,673,958	4,789,878	4,905,399	5,047,723	4,999,209	5,031,605	4,943,657	5,111,084
Monroe County Lodging Occupancy %:	74.3%	75.0%	78.1%	79.5%	78.2%	75.5%	76.8%	77.2%

Sources: Monroe County Tourist Development Council; Smith Travel Research
 Updated: July 2019

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⁴ See *Economy Trends of Key West and Monroe County*, https://www.keywestchamber.org/uploads/4/6/5/2/46520599/demographics_and_economy_update_2019.pdf (2019).

⁵ See Monroe County tax Collector, *Economy Trends of Key West and Monroe County*, https://www.keywestchamber.org/uploads/4/6/5/2/46520599/demographics_and_economy_update_2019.pdf (2019).

⁶ See, Monroe County tax Collector, *Economy Trends of Key West and Monroe County*, https://www.keywestchamber.org/uploads/4/6/5/2/46520599/demographics_and_economy_update_2019.pdf (2019).

shows that overnight visitors generate the largest amount of revenue for Key West and the Keys as a whole. The purpose of the DR zoning district is to “establish areas suitable for the development of proposed tourist center [...] to attract visitors and tourists for tenancies of three or more days.” The Property is an area that is suitable for a large transient resort/hotel and is in such a location and proximity to the water that it will inevitably attract visitors for overnight and prolonged stays.

d. Vacation Rentals already Exist on the Property.

The Property currently has legally functioning detached vacation rentals pursuant to section 134-1 of the LDC, which is permitted as of right in MU zoning districts. DR zoning districts are also allowed vacation rentals as of right if they comply with section 134-1. As such, a change from MU to DR zoning would not affect the use of vacation rentals on the Property.

VIII. Factors for Basis of Amendment

The Board of County Commissioners may consider an amendment if the change is based on one or more factors, including changed projections (e.g. regarding public service needs) from those on which the text was based, changed assumptions (e.g. regarding demographic trends), data errors, new issues, or recognition of a need for additional detail or comprehensiveness. This Amendment is based upon changed assumptions, new issues, and recognition of a need for additional detail or comprehensiveness.

a. Changed projections

Not Applicable.

b. Changed assumptions

The Property’s use has changed from a boatyard to a private gated yacht club with vacation rentals and is an area that is suitable for a large transient resort/hotel and is in such a location. Stock Island has slowly become revitalized with resorts, restaurants, multi-family residential housing and other uses accustomed of a self-contained City. The Proposed Amendment will generate more interest in Stock Island as a tourist destination that is distinct but also ancillary to Key West proper.

c. Data errors

Not Applicable.

d. New issues

The purpose of the Amendment is to place the Property in a zoning district that is more in line with the its size, structure, location, and existing amenities. The Amendment will allow the Applicant to achieve the highest and best use for the Property’s 13.14 acres, increase the number

Emily Schemper, Senior Director, Planning and Environmental Resources
Re: SH Marinas 6000, LLC- Proposed LUD Zoning Map Amendment
February 21, 2020
Page 18 of 18

of tourists and visitors to Stock Island and the Property, and reduce the off-site impacts usually associated with tourism by utilizing the already existing amenities present on the Property.

The Proposed Amendments will also provide the viability of Wrecker's Cay, a crucial workforce housing development ready to proceed on Stock Island.

e. Recognition of a need for additional detail or comprehensiveness

Not applicable

i. No Adverse Community Change

There will be no adverse change to Monroe County if the Proposed Amendment is approved. The Proposed Amendment is geographically limited in scope.

ii. Conclusion

Based on the foregoing, Applicant requests Monroe County adopt the Proposed Amendment. Thank you for your consideration and assistance, and please feel free to contact me with any questions.

Sincerely,



Barton W. Smith, Esq.

Enclosures

BWS/JG/bg

Electric cc: Ilze Aguila, Aguila-Ilze@MonroeCounty-FL.Gov

This instrument prepared by
and return to:

03/19/2019 3:51PM
DEED DOC STAMP CL: Brit \$238,231.00

Robert H. Gebaide, Esq.
BAKER & HOSTETLER LLP
2300 Sun Trust Center
200 South Orange Avenue
Post Office Box 112
Orlando, Florida 32802-0112
Telephone: (407) 649-4000

Doc# 2211586
Bkn 2954 Pgn 815

Parcel ID Nos.: 00127480-000000; 00127475-000132;
and 00127477-000101 through 00127477-000116;
and 00127477-000119; and 00127477-000121 through
00127477-000123; and 00127471-000120

Consideration: \$34,033,000.00

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made and executed on March 15, 2019, by Key West Marina Investments, L.L.C., a Florida limited liability company (hereinafter referred to as the "Grantor"), whose address is 1114 Avenue of the Americas, 39th Floor, New York, NY 10036, to SH Marinas 6000, LLC, a Florida limited liability company (hereinafter referred to as the "Grantee"), whose address is 506 Fleming Street, Key West, Florida 33040.

Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, partnerships (including joint ventures, public bodies and quasi-public bodies)

WITNESSETH: THAT Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, does hereby grant, bargain, sell, alienate, remise, release, convey, and transfer unto Grantee, all of that certain land lying and being in the County of Monroe, State of Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof by reference (hereinafter referred to as the "Property").

TOGETHER with all buildings, structures, and improvements thereon and all of the rights, privileges, appurtenances, hereditaments, easements, reversions, and remainders pertaining to or used in connection therewith, including, without limitation, all strips and gores, streets, alleys, easements, rights-of-way, public ways, or other rights appurtenant, adjacent, or connected thereto.

TO HAVE AND TO HOLD the same in fee simple forever, subject to (i) taxes for the year of this instrument and thereafter; (ii) zoning and other use restrictions, conditions, or requirements now or hereafter imposed by governmental authorities; and (iii) without re-imposing same, those matters appearing on Exhibit "B" attached hereto and by this reference made a part hereof ((i) through (iii), collectively, "Permitted Exceptions").


FURTHER, Grantor hereby covenants with and warrants to Grantee that Grantor is lawfully seized of the Property in fee simple; and that Grantor has good, right and lawful authority to sell and convey the Property, and hereby specially warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under Grantor, but no one else, subject to the Permitted Exceptions.

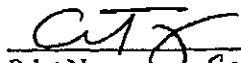
[Signatures on following page.]

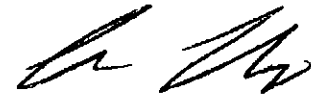
IN WITNESS WHEREOF, Grantor has caused this Special Warranty Deed to be duly executed as of the day and year first above written.

Signed, sealed and delivered in
our presence:

Key West Marina Investments, L.L.C., a Florida
limited liability company


Print Name: NAFIZ LINDON


Print Name: Catherine Tenney



By: _____
Name: Adam Matos
Title: Senior Vice President

STATE OF New York)

COUNTY OF New York)

The foregoing instrument was acknowledged before me this 7 day of MARCH, 2019, by Adam Matos, as Senior Vice President of Key West Marina Investments, L.L.C., a Florida limited liability company, on behalf thereof. He ☒ is personally known to me, or ☐ produced _____ as identification.

(Affix Notary Seal)


Notary Public
Print Name: _____
My Commission expires: _____

Jesus Rosado
Notary Public, State of New York
No. 01RO6242248
Qualified in Bronx County
Commission Expires May 31, 2019

EXHIBIT A

Description of the Property

• **Parcel A:**

On the island known as stock island and described according to George L. McDonald's plat of a part of said stock island, recorded in Plat Book Number one (1), Page 55, Monroe County, Florida public records, as follows:

Lots five (5) and six (6) in Block Sixty-one (61); together with any riparian rights thereunto belonging or in anywise appertaining. Also a parcel of bay bottom land in the Straits of Florida, South of and adjacent to Lots 5 and 6, Block 61 of the plat of stock island, Monroe County, Florida and being recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of said Block 61 of the plat of stock island, bear East for a distance of 400.00 feet to a point; thence bear South for a distance of 255.20 feet to the point of beginning of the parcel of bay bottom land hereinafter described, said point of beginning also being on the shoreline of the straits of Florida; from said point of beginning, continue bearing South for a distance of 2178 feet, more or less, to a point; thence at right angles and East for a distance of 200 feet to a point; thence at right angles and North for a distance of 2178 feet, more or less, back to a point on the shoreline; thence meander to the shoreline in a Westerly direction for a distance of 200 feet, more or less, back to the point of beginning. Lying and being in Section 35, Township 67 South, Range 25 East, Monroe County, Florida.

• **Parcel B:**

On the island known as stock island and described according to George L. McDonald's plat of a part of said stock island, recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, as follows:

Lot 7 in Block 61, commencing at a point on Peninsular Avenue, 600 feet from the corner of Peninsular Avenue, and Maloney Avenue, running thence along Peninsular Avenue, in a Easterly direction 200 feet and extending back at both ends of said line and at right angles to said Peninsular Avenue, in a Southerly direction to the waters of the gulf.

Also,

A parcel of Submerged land in Hawk Channel in Section 36, Township 67 South, Range 25 East, Monroe County, Florida, more particularly described as follows:

Beginning at the Northeast corner of Lot 7, Block 61, of a plat titled "All Lots 1, 2, 3, 5, 6, Section 35; Lot 2 Section 36; Lot 3, Section 26; Lot 2, Section 34; Stock Island, Township 67 South, Range 25 East." Recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, run East, for a distance of 420 feet. Thence run South for a distance of 820 feet, thence run West for a distance of 620 feet, thence run North, for a distance of 500 feet, more or less to the Southwest corner of said Lot 7, Block 61; thence meander the shoreline of said Lot 7, Block 61, in an Easterly and Northerly direction back to the point of beginning.

Parcel C:

A parcel of land, and a portion of a Harbor, located in Section 36, Township 67 South, Range 25 East,

Stock Island, Monroe County, Florida, and being more particularly described as follows:

Commence at the Southeasterly corner of Maloney Avenue and Peninsular Avenue, Stock Island, Monroe, County, Florida; thence East along the South right-of-way of Peninsular Avenue for 1220.12 feet; thence South 237.09 feet to the mean water line of Boca Chica Channel (Straits of Florida), as established on February 6-8, 1984 in accordance with Chapter 177, Part II of the laws of Florida (N.G.V.D. Elev. 0.78), and the point of beginning; thence meander said mean high water line in a Southeasterly and Southwesterly direction with the following metes and bounds; South 24° 04' 03" East for 41.69 feet; thence South 62° 38' 11" East for 19.12 feet; thence South 01° 41' 49" East for 10.59 feet; thence South 24° 28' 37" East for 28.04 feet; thence South 62° 09' 03" East for 39.39 feet; thence South 03° 24' 06" East for 30.50 feet; thence South 25° 36' 43" East for 159.75 feet; thence South 74° 09' 24" West for 41.92 feet; thence South 21° 26' 38" West for 57.27 feet; thence South 10° 09' 39" East for 15.15 feet; thence leaving said mean high water line, West for 93.01 feet; thence North 355.51 feet to the point of beginning.

Parcel D:

A line meandering the Riparian Upland parcel, which was filled prior to July 01, 1975, lying on and adjacent to the Straits of Florida in Section 36, Township 67 South, Range 25 East, Stock Island, Monroe County, Florida and being more particularly described as follows:

Commence at the Northwest corner of Lot 1, Block 61, "George L. McDonald's plat of Stock Island" according to the plat thereof, as recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, said point also being the intersection of the Southerly right of way line of Peninsular Avenue and the Easterly right of way of Maloney Avenue; thence East along the said Southerly right of way line Peninsular Avenue for 1220.12 feet; thence South for 820.00 feet; thence North 90° 00' 00" West a distance of 253.94 feet to the mean high water line lying along a concrete seawall; thence West a distance of 270.51 feet to the mean high water line of the Straits of Florida and the point of beginning; thence meander the said mean high water line (elevation 0.78 as located on February 6-8, 1984) for the following metes and bounds thence South 06° 39' 55" East a distance of 13.57 feet; thence South 01° 24' 10" West a distance of 23.35 feet; thence South 22° 37' 25" West a distance of 26.52 feet; thence South 37° 58' 46" West a distance of 7.90 feet; thence South 20° 19' 26" West a distance of 38.26 feet; thence South 60° 38' 26" East a distance of 19.18 feet; thence South 06° 04' 23" West a distance of 15.61 feet; thence South 85° 05' 18" West a distance of 28.79 feet; thence South 21° 19' 54" West a distance of 96.92 feet; thence South 12° 39' 37" East a distance of 76.34 feet; thence South 41° 05' 57" East a distance of 57.42 feet; thence South 44° 50' 22" East a distance of 53.30 feet; thence South 68° 57' 35" East a distance of 41.86 feet; thence South 19° 23' 41" East a distance of 28.68 feet; thence South 52° 51' 02" East a distance of 48.91 feet; thence South 28° 11' 22" East a distance of 70.63 feet; thence South 68° 54' 31" East a distance of 43.30 feet; thence North 85° 00' 12" East a distance of 40.22 feet; thence North 86° 54' 27" East a distance of 66.20 feet; thence South 38° 57' 33" East a distance of 57.90 feet; thence North 76° 13' 35" East a distance of 58.49 feet; thence North 65° 57' 31" East a distance of 117.63 feet; thence North 59° 25' 13" East a distance of 97.46 feet; thence North 38° 31' 22" East a distance of 75.96 feet; thence North 38° 41' 03" East a distance of 43.44 feet; thence North 30° 02' 00" East a distance of 78.59 feet; thence North 20° 30' 15" East a distance of 86.15 feet; thence North 14° 41' 49" East a distance of 44.12 feet; thence North 63° 36' 44" West a distance of 32.35 feet; thence South 69° 54' 51" West a distance of 32.61 feet; thence South 22° 01' 01" West a distance of 40.70 feet; thence South 28° 05' 52" West a distance of 74.87 feet; thence South 31° 16' 23" West a distance of 105.45 feet; thence South 09° 58' 35" West a distance of 26.65 feet; thence South 56° 36' 51" West a distance of 52.92 feet; thence South 67° 51' 11" West a distance of 157.26 feet; thence South 68° 36' 57" West a distance of 49.19 feet; thence North 84° 43' 18" West a distance of 89.46 feet; thence North 61° 55' 36" West a distance of 116.39 feet; thence North 43° 05' 23" West a distance of 164.87 feet; thence North 24° 00' 54" West a distance of 53.88 feet; thence North 02° 23' 52" East a distance of 65.21 feet; thence North 04° 46' 21" East a distance of 59.18 feet; thence North 44° 47' 37" East a distance of 14.49

feet; thence North 87°05'57" East a distance of 7.84 feet; thence North 54°52'52" East a distance of 61.46 feet; thence North 45°22'45" East a distance of 43.01 feet; thence North 60°13'02" East a distance of 19.78 feet; thence North 76°17'21" East a distance of 15.54 feet; thence South 89°14'33" East a distance of 23.37 feet; thence South 76°01'39" East, a distance of 19.75 feet; thence North 83°30'30" East a distance of 7.49 feet; thence North 71°47'24" East a distance of 31.99 feet; thence North 68°11'08" East a distance of 30.92 feet; thence North 55°17'15" East a distance of 19.50 feet; thence South 33°18'08" East a distance of 3.93 feet; thence North 57°16'39" East a distance of 22.00 feet; thence North 36°35'34" West a distance of 9.58 feet; thence West for 270.51 feet to the point of beginning.

Parcel G:

A parcel of land in Section 36, Township 67 South, Range 25 East, Stock Island, Monroe County, Florida and being more particularly described as follows:

Commence at the Southeasterly corner of Maloney Avenue and Peninsular Avenue, Stock Island, Monroe County, Florida; thence East along the South right-of-way of Peninsular Avenue for 1,220.12 feet; thence South 592.60 feet to the point of beginning; thence continue South 227.40 feet to the mean high water line of Lagoon and Boca Chica Channel (Straits of Florida), as established on Feb 6-8, 1984 in accordance with Chapter 177, Part II of the Laws of Florida (N.G.V.D., Elev 0.78); thence meander said mean high water line in a Southeasterly, Easterly, and Northerly direction with the following metes and bounds; South 80°38'33" East for 26.87 feet; thence South 73°46'26" East for 57.64 feet; thence South 35°25'39" East for 37.75 feet; thence North 85°49'19" East for 28.40 feet; thence North 15°18'51" East for 32.71 feet; thence North 06°19'23" East for 59.65 feet; thence North 09°19'59" West for 13.07 feet; thence North 23°50'47" West for 36.82 feet; thence North 17°54'54" West for 89.86 feet; thence North 10°09'40" West for 54.51 feet; thence leaving said mean high water line, West for 93.01 feet to the point of beginning.

Less and except Key West Harbour Condominium (f/k/a Key West Harbour Yacht Club, a Condominium), pursuant to Amended and Restated Declaration of Condominium for Key West Harbour Condominium, and any exhibits annexed thereto, recorded in Official Records Book 2632, Page 1581, and First Amendment to Amended and Restated Declaration of Condominium recorded in Official Records Book 2762, Page 1534, according to the public records of Monroe County, Florida.

AND

UNIT WS-32 AND UNIT B1-L1-20 OF KEY WEST HARBOUR CONDOMINIUM (F/K/A KEY WEST HARBOUR YACHT CLUB, A CONDOMINIUM), PURSUANT TO AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR KEY WEST HARBOUR CONDOMINIUM, AND ANY EXHIBITS ANNEXED THERETO, RECORDED IN OFFICIAL RECORDS BOOK 2632, PAGE 1581, AND FIRST AMENDMENT TO AMENDED AND RESTATED DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 2762, PAGE 1534, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, TOGETHER WITH AN UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, AS SET FORTH IN THE SAID DECLARATION.

EXHIBIT B

Permitted Exceptions

1. Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable.
2. Oil, gas and mineral reservations contained in Deed No 21117 from the Trustees of the Internal Improvement Fund of Florida, dated January 13, 1956, recorded January 23, 1956 in Book 53, page 327. Note: The right of entry has been released pursuant to §270.11 F.S.
3. Oil, gas and mineral reservations contained in Deed No 20903 from the Trustees of the Internal Improvement Fund of Florida, dated June 13, 1957, recorded March 24, 1969 in Book 427, page 1063. Note: The right of entry has been released pursuant to §270.11 F.S.
4. Oil, gas and mineral reservations contained in Deed No 26595 from the Trustees of the Internal Improvement Fund of Florida, dated January 28, 1986, recorded February 11, 1986 in Book 965, page 1029, as corrected by deed dated June 24, 1986, recorded July 14, 1986 in Book 981, page 544. Note: The right of entry has been released pursuant to §270.11 F.S.
5. License Agreement dated December 31, 1985, by and between E. J. Ming, Jr., Robert N. Ming and Donald L. Ming, doing business as Ming Partnership No. 2 and the State of Florida, Department of Natural Resources recorded February 11, 1986 in Book 965, page 1119.
6. Resolution No. 265-2004 of The Board of County Commissioners of Monroe County, Florida, Relating To The Provision of Wastewater Capacity; Imposing Annual Wastewater Assessments; Approving The Non-Ad Valorem Assessment Roll; Providing For Collection of The Waste Water Assessments, together with Utility Agreement and Consent and Acknowledgement; And Providing An Effective Date, recorded June 23, 2005 in Book 2126, page 511.
7. Planning Commission Resolution No. P11-07 Approving the request for an amendment to a Major Conditional Use Permit to Redevelop the Existing Marina as recorded May 25, 2007 in Book 2297, Page 789.
8. Easement granted to Comcast of California/Colorado/Florida/Oregon, Inc. by instrument recorded March 14, 2008 in Book 2350, Page 578.
9. Easement granted to The Utility Board of the City of Key West, Florida by instrument recorded April 29, 2008 in Book 2358, Page 628.
10. Flood Variance Affidavit as set forth in instrument recorded May 14, 2008 in Book 2361, Page 124.
11. Monroe County Moderate Affordable Housing Restrictive Covenant as set forth in instrument recorded June 6, 2008 in Book 2365, Page 351.
12. Deed of Conservation Easement granted to Board of Trustees of the Internal Improvement Trust Fund of the State of Florida by instrument recorded June 6, 2008 in Book 2365, Page 486, an Corrective Deed of Conservation Easement recorded October 31, 2008 in Book 2386, Page 1972. (As to fee lands only)

13. Master Declaration of Covenants and Easements and Agreement for Shared Use for Key West Harbour, which contains provisions for a private charge or assessments, recorded June 7, 2013 in Book 2632, Page 1538, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
14. Terms, provisions, restrictive covenants, conditions, reservations, rights, duties and easements contained in Certificate of Amendment Amended and Restated Declaration of Condominium for KEY WEST HARBOUR CONDOMINIUM, and any Exhibits annexed thereto, including, but not limited to, provisions for a private charge or assessments, recorded June 7, 2013 in Book 2632, Page 1581, as amended by: Certificate of Recording recorded August 6, 2013 in Book 2643, Page 904, and First Amendment to Amended and Restated Declaration of Condominium recorded September 29, 2015 in Book 2762, Page 1534 (as to Unit WS-32 and Unit B-1-L1-20 of Key West Harbour Condominium only).
15. Terms and conditions of the Sovereignty Submerged Lands Lease between the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida and Key West Marina Investments, LLC, a Florida limited liability company, as recorded October 29, 2018, in Book 2933, Page 1860, and as amended by Sovereignty Submerged Lands Lease Assignment to Reflect Change of Upland Ownership OR New Sovereignty Submerged Lands Lease, in favor of Grantee, to be recorded.
16. Easement granted to Florida Keys Aqueduct Authority by instrument recorded August 3, 2018 in Book 2920, Page 1210.
17. Terms and conditions of existing unrecorded lease with Boat Services Group, LLC, under that certain Restatement of Service Area Lease dated July 1, 2013, as amended, with no rights of purchase; and all rights of lessee and any parties claiming through the lessee under the lease.
18. Terms and conditions of existing unrecorded lease with Michael Gavito and Jo McKinney under Rental Agreement dated 1-1-2018, and as amended by Rental Agreement Addendum 2 dated November 26, 2018, as amended, with no rights of purchase; and all rights of lessee and any parties claiming through the lessee under the lease.
19. Terms and conditions of existing unrecorded lease with the U.S. Government dated May 1, 2018, for one (1) boat slip, with no rights of purchase; and all rights of lessee and any parties claiming through the lessee under the lease.

MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT



Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
SH Marinas 6000 Member, LLC - 506 Fleming Street, Key West, FL 33040	10%
KWHYC Investments, LLC - 150 SE 2nd Ave, Suite 800, Miami, FL 33131	10%
KW Harbour VII-B, LLC - 171 17th Street NW - Suite 1575, Atlanta, GA 30363	80%
Robert A. Spottswood, President	0%
William B. Spottswood, Vice-President	0%
John M. Spottswood, Jr. - Vice -President	0%

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

Name and Address	% of Ownership

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

Name and Address

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: _____

State of Florida, County of Monroe

ROBERT A. SPOTSWOOD, JR.

The foregoing instrument was acknowledged before me this 16th day of Dec. 2019, by Robert A. Spotswood Jr. He/she is personally known to me or has produced _____ as identification.



Cindy Sawyer
Notary Public
My Commission Expires



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00127480-000000
 Account# 1161667
 Property ID 1161667
 Millage Group 110A
 Location 6000 PENINSULAR Ave, STOCK ISLAND
 Address
 Legal STOCK ISLAND MALONEY SUB PB1-55 LOTS 5-6-7 SQR 61 & ADJ BAY BTM & ADJ
 Description PARCEL (LESS KEY WEST HARBOUR CONDOMINIUM) OR427-1063(II DEED 20903) OR472-272/273Q OR493-890 OR638-181 OR638-182 OR638-184/185 OR919-611/613 OR938-272/273 OR938-274/275Q/C OR938-276 OR965-1029/1033 OR965-1034/1039 OR965-1119/1122 OR977-881/884 OR981-544/548C(II DEED 26595) OR981-549/553C OR1139-336/338 OR1139-339/341 OR1139-342/345 OR1428-579/80/ CERT OR2222-457/59 OR2222-460/61 OR2365-351/354(REST) OR2366-1097/1318DEC OR2387-371/420AMD OR2388-701/732AMD OR2632-1501/1535(TERMINATION) OR2632-1538/1577(DEC) OR2632-1581/1656(DEC) OR2954-0815
 (Note: Not to be used on legal documents.)
 Neighborhood 10060
 Property AIRPORT, MARINAS, BUS TERM (2000)
 Class
 Subdivision
 Sec/Twp/Rng 35/67/25
 Affordable No
 Housing



Owner

SH MARINAS 6000 LLC
 506 Fleming St
 Key West FL 33040

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$2,398,312	\$0	\$0	\$0
+ Market Misc Value	\$2,030,763	\$0	\$0	\$0
+ Market Land Value	\$16,282,991	\$20,409,717	\$20,409,717	\$20,409,717
= Just Market Value	\$20,712,066	\$20,409,717	\$20,409,717	\$20,409,717
= Total Assessed Value	\$20,712,066	\$20,409,717	\$20,409,717	\$20,409,717
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$20,712,066	\$20,409,717	\$20,409,717	\$20,409,717

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRONT (100W)	586,753.00	Square Foot	0	0
(9500)	13.23	Acreage	0	0

Commercial Buildings

Style REST/CAFET-A- / 21A
 Gross Sq Ft 10,124
 Finished Sq Ft 6,517
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls C.B.S.
 Quality 400 ()
 Roof Type GABLE/HIP
 Roof Material METAL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCRETE SLAB
 Interior Finish
 Ground Floor Area

Floor Cover
 Full Bathrooms 4
 Half Bathrooms 0
 Heating Type
 Year Built 2008
 Year Remodeled
 Effective Year Built 2008
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	6,517	6,517	0
OPF	OP PRCH FIN LL	2,172	0	0
OUF	OP PRCH FIN UL	1,435	0	0
TOTAL		10,124	6,517	0

Style APTS-A / 03A
 Gross Sq Ft 7,560
 Finished Sq Ft 5,344
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls C.B.S.
 Quality 400 ()
 Roof Type GABLE/HIP
 Roof Material METAL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCRETE SLAB
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 3
 Half Bathrooms 0
 Heating Type
 Year Built 2008
 Year Remodeled
 Effective Year Built 2008
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	5,344	5,344	0
OPU	OP PR UNFIN LL	928	0	0
OPF	OP PRCH FIN LL	1,288	0	0
TOTAL		7,560	5,344	0

Style MARINA/AUTO/BUS TERM / 27A
 Gross Sq Ft 8,160
 Finished Sq Ft 3,669
 Perimeter 1,346
 Stories 2
 Interior Walls
 Exterior Walls C.B.S.
 Quality 400 ()
 Roof Type GABLE/HIP
 Roof Material METAL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCRETE SLAB
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 2
 Half Bathrooms 0
 Heating Type
 Year Built 2008
 Year Remodeled
 Effective Year Built 2008
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CAN	CANOPY	864	0	118
EFD	ELEVATED FOUND	2,144	0	370
FLA	FLOOR LIV AREA	3,669	3,669	424
OJU	OP PR UNFIN UL	288	0	72
OPF	OP PRCH FIN LL	621	0	184
OUF	OP PRCH FIN UL	574	0	178
TOTAL		8,160	3,669	1,346

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CON DKS/CONPIL	1975	1976	1	1488 SF	3
SEAWALL	1975	1976	1	620 SF	4
CON DKS/CONPIL	1975	1976	1	625 SF	3
SEAWALL	1988	1989	1	1392 SF	4
CON DKS/CONPIL	1988	1989	1	696 SF	3
SEAWALL	1990	1991	1	1300 SF	4
SEAWALL	1990	1991	1	422 SF	1
CONCRETE DOCK	1990	1991	1	975 SF	4
BRICK PATIO	2008	2009	1	200000 SF	2
CUSTOM POOL	2008	2009	1	1601 SF	5
WROUGHT IRON	2008	2009	1	1024 SF	2
TIKI	2008	2009	1	625 SF	5
TIKI	2008	2009	1	713 SF	5

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/7/2019	\$34,033,000	Warranty Deed	2211586	2954	0815	05 - Qualified	Improved
7/5/2006	\$30,500,000	Warranty Deed		2222	457	M - Unqualified	Improved

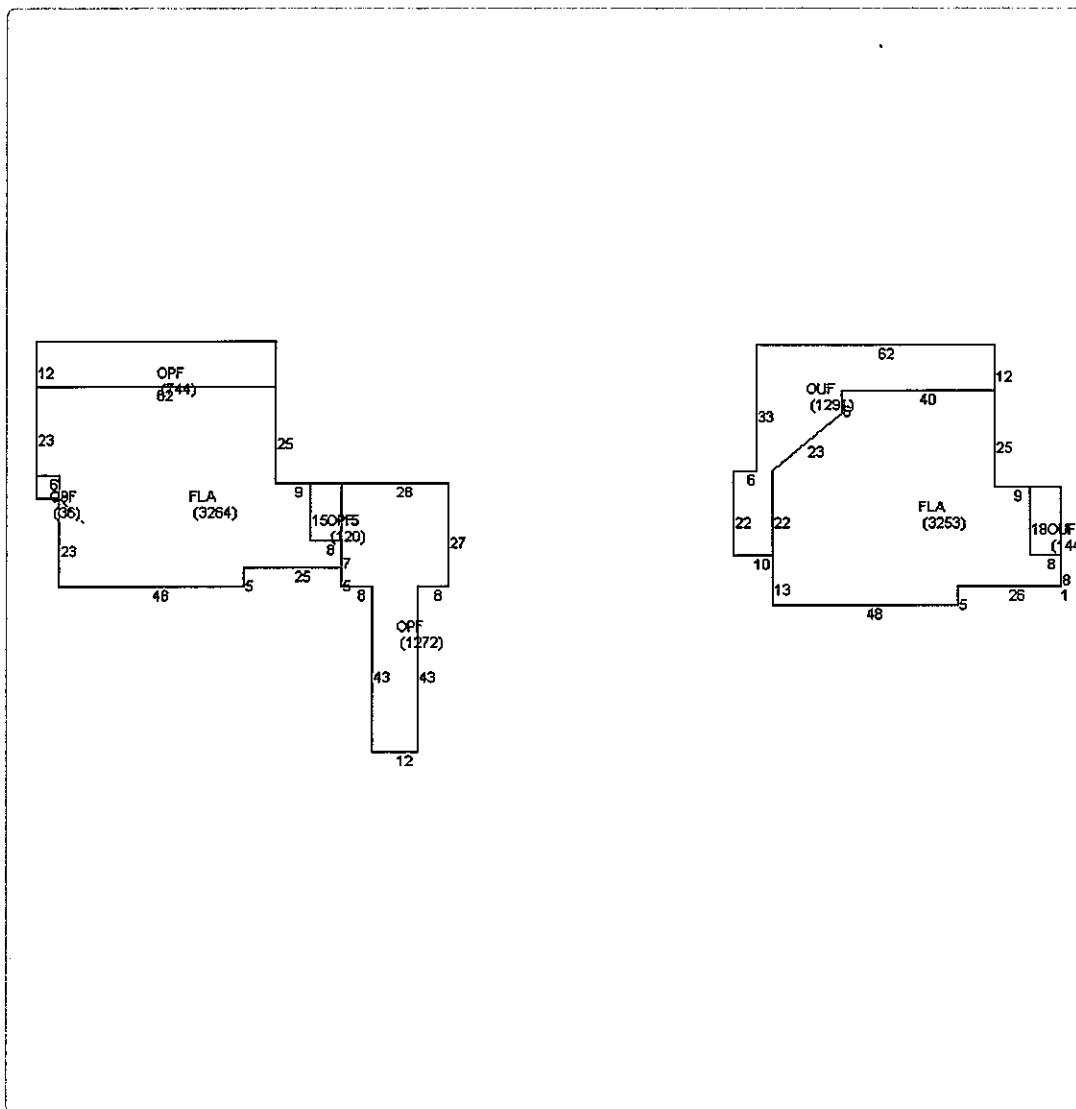
Permits

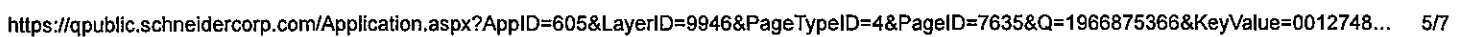
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18104663	11/6/2018	7/29/2019	\$189,740	Commercial	R/R SANITARY SEWER SYSTEM LOCATED UNDER LIVE-ABOARD-DOCK. APPROX 930 LINEAR FEET OF 2.5 4 INCH HPDE SDR 11 FUSION PIPE.
18101008	4/13/2018	8/2/2019	\$444,200	Commercial	REPLACEMENT OF EXISTING 4" FIRE WATER MAIN PER SEALED PLANS IN FILE. THIS PERMIT INCLUDES ELECTIC AND PLUMBING.
18100271	2/7/2018	7/25/2019	\$259,724	Commercial	REPLACE SAME FOR SAME DIESEL FIRE PUMP.
12105260	1/8/2013		\$1,000	Commercial	REPAIR DAMAGED UG ELEC SERVICE
12102826	8/17/2012	6/28/2019	\$1,800,000	Commercial	REMOVE AND REPLACE EXISTING PAVERS WITH CONCRETE
11104789	10/18/2011	4/17/2019	\$20,000	Commercial	INSTALL 300 AMP ELECTRICAL PANEL AND 3 POWER PEDESTAL UTILIZING EXISTING CONDUITS INSTALLED DURING ORIGINAL CONSTRUCTION.
10103328	6/25/2010		\$0	Commercial	RELOCATE PEDESTALS
10100467	2/9/2010		\$2,400	Commercial	REPAIR DOCK PVC LINES
09100696	3/2/2009	12/18/2009	\$2,400	Commercial	WIRELESS SECURITY ALARM
08104067	12/8/2008		\$32,000	Commercial	UNIT (A) VACATION RENTAL
08104070	12/8/2008		\$32,000	Commercial	UNIT (B) VACATION RENTAL
08104071	12/8/2008		\$32,000	Commercial	UNIT (C) VACATION RENTAL
08102671	10/16/2008	10/16/2008	\$80,000	Commercial	ATF TIKI
08101557	5/19/2008	8/6/2008	\$31,000	Commercial	LANDSCAPE & IRRIGATION
08101740	5/14/2008	8/6/2008	\$1,300	Commercial	FIRE SUPPRESSION SYSTEM CLUB HOUSE
08101222	5/7/2008	8/6/2008	\$400	Commercial	PROPANE TANK IN GROUND
08100790	5/1/2008		\$810,000	Commercial	PIER STEEL PILES & BOARDWALK
08101336	4/24/2008	8/6/2008	\$160,000	Commercial	COMM POOL
08100592	3/26/2008	8/6/2008	\$15,000	Commercial	2 GENERATOR PADS
08100591	3/14/2008	8/6/2008	\$300,000	Commercial	Fire Pump Houses 3 each
08100437	3/5/2008	8/6/2008	\$60,000	Commercial	Fire Alarm System
07101988	12/12/2007	8/6/2008	\$210,000	Commercial	AFFORDABLE 1 OF 3 HOUSING
07104239	10/30/2007	8/6/2008	\$6,000	Commercial	Maintenance Dredging
07102102	10/12/2007	6/9/2008	\$1,418,300	Commercial	#1 Boat Barn
07103104	10/12/2007	6/9/2008	\$650,000	Commercial	#3 BOAT BARN
07101987	9/26/2007	8/6/2008	\$300,000	Commercial	Dockmaster/Ship Store
07101989	9/26/2007	8/6/2008	\$260,000	Commercial	Unit A SFR
07101996	9/26/2007	8/6/2008	\$1,600,000	Commercial	New Club House
07103048	9/26/2007	8/6/2008	\$210,000	Commercial	Affordable Housing 2 of 3 Units
07103049	9/26/2007	8/6/2008	\$210,000	Commercial	Affordable Housing 3 of 3 Units
07104118	9/26/2007	8/6/2008	\$260,000	Commercial	Unit B SFR
07104122	9/26/2007	8/6/2008	\$260,000	Commercial	Unit C SFR
07103108	9/4/2007	8/6/2008	\$300,000	Commercial	Seawall Repair Cap
07102727	8/8/2007	8/6/2008	\$245,317	Commercial	Underground Storage Tanks
07102547	6/14/2007	8/6/2008	\$155,000	Commercial	Club House Foundation Only
07102549	6/14/2007	8/6/2008	\$845,900	Commercial	Boat Storage Bldg 1
07102550	6/14/2007	8/6/2008	\$98,000	Commercial	Boat Bldg 3 Foundation only
07102551	6/14/2007	8/6/2008	\$227,999	Commercial	Boat Bldg 2 Foundation only
07102552	6/14/2007	8/6/2008	\$126,000	Commercial	Guest Suites

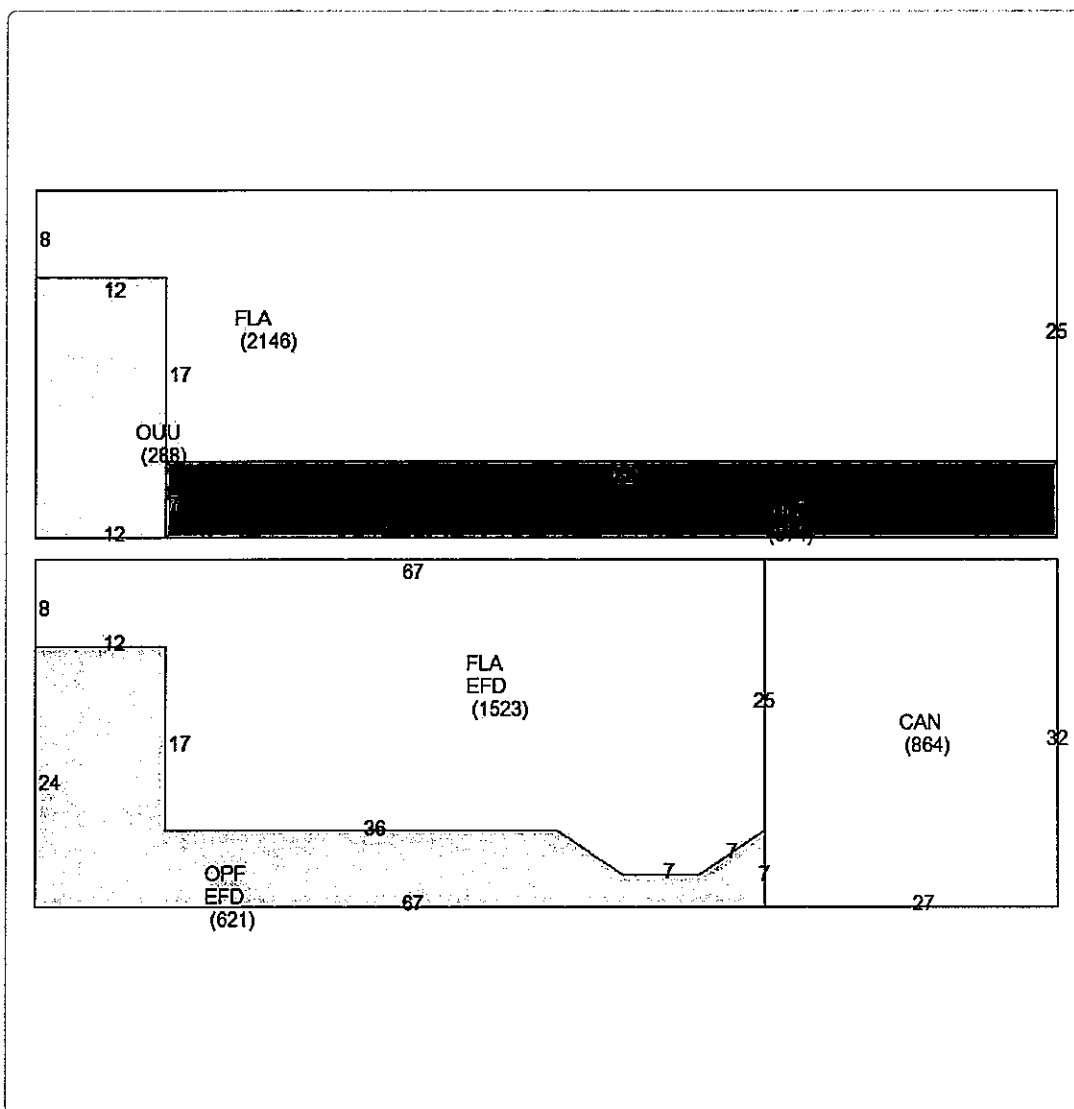
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07102553	6/14/2007	8/6/2008	\$93,000	Commercial	Ships Store
07102553	6/14/2007	8/6/2008	\$93,000	Commercial	Ships Store Foundation only
07101985	5/29/2007	8/6/2008	\$250,000	Commercial	SITE WORK ONLY C-PERMIT
06106513	11/15/2006	12/28/2007	\$13,000	Commercial	DEMO 15,854 SF OF METAL, WOOD, AND CBS BLDG.
06105317	9/7/2006	12/28/2007	\$10,000	Commercial	Driveway
00/4138	9/21/2000	1/1/2001	\$1,200	Commercial	ELEC.MISC.
00/0757	7/25/2000	1/1/2001	\$7,200	Commercial	REPAIR 30' SEAWALL
99/2137	9/2/1999	12/30/2000	\$20,000	Commercial	INSTALL LIFT STATION
98-2286	12/22/1998	1/1/2001	\$22,450	Commercial	ROOFING
96-0478	10/1/1996	12/1/1996	\$2,500	Commercial	SLAB
95-1311	7/1/1996	12/1/1996	\$57,000	Commercial	ADDITION - COMMERCIAL

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Sketches (click to enlarge)







Photos



Map



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2019 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

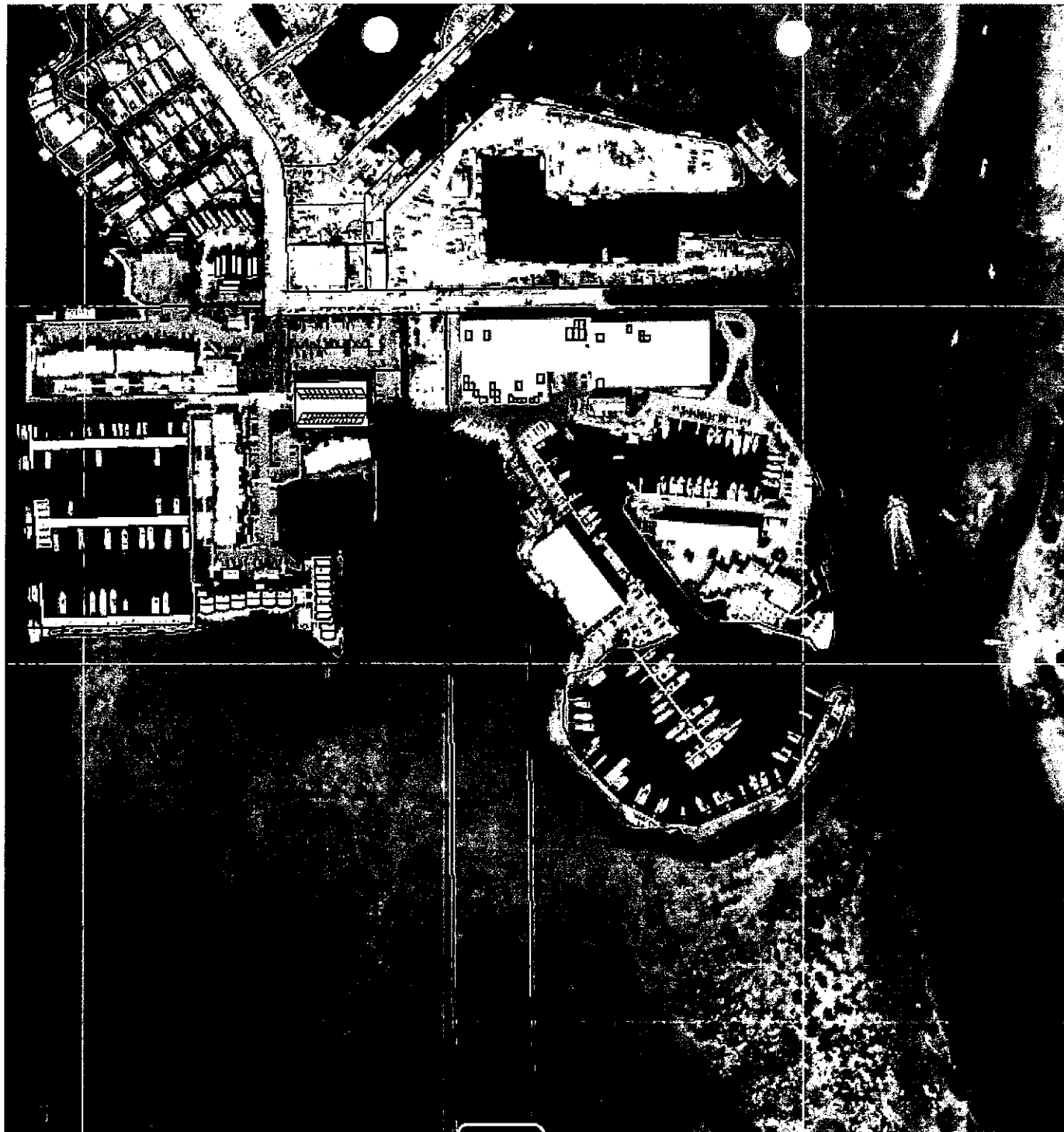
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Version 2.3.28





6000 Peninsular Avenue, Stock Island, Florida 33040

ParcelId	OwnerName	OwnerAddress1	OwnerAddress2	OwnerAddress3	OwnerCity/Zip	Country
1	00127471-000267 1018 TRUMAN LLC	PO Box 856			Powder Springs, GA 30127	
2	00127471-000254 3 G'S KEYS LLC	8541 Belle Meade Dr			Fort Myers, FL 33908	
3	00125950-000100 6003 PENINSULA LLC	224 Key Haven Rd			Key West, FL 33040	
4	00127440-001200 AMBUSH HOOK LINE AND SINKER LLC	5600 Penneck Point Rd			Jupiter, FL 33458	
5	00127420-000627 ANN ANN	137 Simonton St			Key West, FL 33040	
6	00127430-000107 APKW HOLDINGS LLC	PO Box 450			Chestertown, MD 21620	
7	00127420-000628 APPELLIS MICHEL	1414 Newton St			Key West, FL 33040	
8	00127471-000104 ASPINWALL FAMILY TR AG 5/18/2011	316 Nautilus Ct			Fort Myers, FL 33908	
9	00127471-000177 ASPINWALL GARY	5823 Riverside Ln			Fort Myers, FL 33919	
10	00127420-000685 BACKWALL PARTNERS LLC	3605 S Beach Dr			Tampa, FL 33629	
11	00125860-000000 BACLE MONICA	15 Amariyllis Dr			Key West, FL 33040	
12	00127471-000159 BAILEY PROPERTIES LLC	5601 2nd St W			Lehigh Acres, FL 33971	
13	00126200-000400 BARBER BERENICE	6900 Maloney Ave			Key West, FL 33040	
14	00127420-000669 BARRETT PAUL	PO Box 5888			Key West, FL 33045	
15	00127440-001600 BARTON JR DONALD J	1502 United St			Key West, FL 33040	
16	00126200-000300 BEAM DAVID J	6900 Maloney Ave			Key West, FL 33040	
17	00127420-000679 BENEDETTO GEORGE	4421 Jefferson Hwy			Jefferson, LA 70121	
18	00127440-000500 BENEDETTO GEORGE M	4421 Jefferson Hwy			Jefferson, LA 70121	
19	00127420-000674 BENNETT GLENN	350 Park Dr			Moorestown, NJ 08057	
20	00127420-000670 BENNETT RICHARD B REV TRUST 05/09/2001	5967 Gordon Rd			Hickory, NC 28602	
21	00127471-000248 BEVERIDGE MARK RICHARD	425 Caroline St			Key West, FL 33040	
22	00127420-000640 BIRMINGHAM IRONWORKS INC	9107 Cherry Rd			Vermilion, OH 44089	
23	00126200-001400 BLANCO LIANA M	6900 Maloney Ave			Key West, FL 33040	
24	00127420-000643 BLUE WATER OE LLC	702 Commercial St			Emporia, KS 66801	
25	00127440-001000 BLUEWATER INVESTMENT LP	142 John F Kennedy Dr			Lake Worth, FL 33462	
26	00125990-000000 BOWEN ALFRED	815 Peacock			Key West, FL 33040	
27	00127430-000204 BOYD JOHN L	6781 Olive Branch Rd			Oregonia, OH 45054	
28	00127420-000692 C SERVICE LLC	3410 Ridgewood Rd NW			Atlanta, GA 30327	
29	00127420-000694 CALYPSO WATER SPORTS AND CHARTERS	257 Atlantic Blvd			Key Largo, FL 33037	
30	00127420-000693 CALYPSO WATER SPORTS AND CHARTERS INC	257 Atlantic Blvd			Key Largo, FL 33037	
31	00127420-000675 CARDENAS DEBORAH H/W	809 Fleming St			Key West, FL 33040	
32	00126200-001300 CASTRO RICARDO F	6900 Maloney Ave			Key West, FL 33040	
33	00127420-000659 CAYO HUESO INVESTMENTS LNC	6511 Maloney Ave			Key West, FL 33040	
34	00127440-003100 CHEYENNE HOLDINGS LIMITED PARTNERSHIP	2201 4th St N			Saint Petersburg, FL 33704	
35	00127420-000688 COLLINS J FRED	63 Dolphin Cove Quay			Stamford, CT 06902	
36	00127420-000603 CONKLIN REID	3314 Northside Dr			Key West, FL 33040	
37	00127471-000130 COOPER DIANE	1108 Truman Ave			Key West, FL 33040	
38	00127471-000264 CORBITT JOHN D	142 John F Kennedy Dr			Atlantis, FL 33462	
39	00127420-000623 COTTIS JOHN DEC TRUST 5/28/2008	17258 Dolphin St			Sugarloaf, FL 33042	
40	00127420-000676 CVS OF SE MISSOURI PROHIT SHARING PLAN	662 Paloma Cir			Mesquite, NV 89027	
41	00127430-000106 DASHER TED	4300 10th Ave S	26 Hina St		Birmingham, AL 35222	
42	00127440-004600 D8GB REVOCABLE LIVING TRUST	C/O BERRYHILL GLENN TRUSTEE	26 Hina St		Hilo, HI 96720	
43	00127420-000645 D8GB REVOCABLE LIVING TRUST 7/10/2000	C/O BERRYHILL DONALD J AND GLENN TRUSTEES			Hilo, HI 96720	
44	00127471-000119 DELPHFISHING MEDIA INC	183 Venetian Way			Summerland Key, FL 33042	
45	00127420-000604 DEMANNEY ROY	804 25th Ave W			Palmetto, FL 34221	
46	00127420-000678 DEMAURO KIMBERTLY CURRY	17195 Kingfish Ln W			Summerland Key, FL 33042	
47	00127420-000687 DUKE JOHN O REV TRUST 10/11/2013	28555 Jolly Roger Dr			Summerland Key, FL 33042	
48	00127420-000680 EDEA ANTONIO OF FLORIDA LLC	14 Nassau Dr			Metairie, LA 70005	
49	00127471-000216 EG ENTERPRISES LLC	6758 Danah Ct			Fort Myers, FL 33908	
50	00127420-000657 ENVECORE LLC	108 13TH St			Fort Myers, FL 33908	
51	00127471-000265 FINSTROM JON K	3949 Evans Ave			Wilmington, DE 19801	
52	00127440-002400 FLEMING ENTERPRISES LLC	16101 La Grande Dr			Fort Myers, FL 33901	
53	00127420-000707 FOLEY WALTER AND KAY TRUST 4/16/07	875 W Loop 304			Little Rock, AR 72223	
54	00126200-001500 FOURNIER ROXANN	6900 Maloney Ave			Crockett, TX 75835	
55	00127440-002300 FOWLER CHARLES	7251 NW 6th St			Key West, FL 33040	
56	00127471-000183 FOWLER CONNIE L	1716 South St			Plantation, FL 33317	
57	00127420-000667 FREE SALLY A	136 SW 58th St			Key West, FL 33040	
58	00127430-000209 FRENCH SCOTT	7B-20-22 QNSLOW AVE			Cape Coral, FL 33914	
59	00127420-000683 FUGARI AIR LLC	PO Box 958			ELIZABETH BAY, NSW 2011 SW 2011	
					Canyon, TX 79015	

60	00127430-000109	GARRITANO ANTHONY	5960 Peninsular Ave	Key West, FL 33040
61	00127420-000635	GAYNOR RICHARD G	2320 Drusilla Ln	Baton Rouge, LA 70809
62	00127430-000201	GIBBS ION M	703 Greens Ave	Winter Park, FL 32789
63	00123680-000000	GULFSIDE MARINA CORP	7685 NW 12th St	Miami, FL 33126
64	00127420-000673	HARLOW JAMES MYRON DECLARATION TRUST 12/7/2001	16657 Holly Ln	Summerland Key, FL 33042
65	00127471-000260	HAYMAKER JAMES	326 Whitehead St	Key West, FL 33040
66	00127420-000613	HENDERSON ROBIN M	PO Box 2515	Key West, FL 33045
67	00127471-000268	HOLMES PETER F	12 Wildwood Ln	Scarborough, ME 04074
68	00127430-000206	HUBER FLORIDA LLC	2673 Solomons Island Rd	Edgewater, MD 21037
69	00127471-000204	HUNKER WAYDE	7 Park Meadows Dr	Fairfield, OH 45014
70	00127471-000292	HURST BASIL J	246 McCausley Rd	Hubert, NC 28539
71	00127471-000174	HURST BASIL J	5960 Peninsular Ave	Key West, FL 33040
72	00127430-000105	JACQUES GARY L REVOCABLE TRUST 6/7/2006	812 Meadow Ln	South Hutchinson, KS 67505
73	00127471-000294	JONES LLC	1023 Johnson St	Key West, FL 33040
74	00127420-000621	KEY WEST 2016 LLC	200 Spectrum Center Dr	Irvine, CA 92618
75	00127474-000128	KEY WEST 80 LLC	26640 Edgewood Rd	Excelsior, MN 55331
76	00127420-000647	KEYSTER LLC	12003 NW 112th Ave	Alachua, FL 32615
77	00126200-001100	KIMBALL EDWARD ANDREW	PO Box 1762	Key West, FL 33041
78	00127430-000205	KWG PROPERTIES LLC	505 Wellington Way	Lexington, KY 40503
79	00127430-000202	LAMB BARBARA H REV TRUST 06/29/1983	832 97th Ave N	Naples, FL 34108
80	00126200-000100	LAYNE JUDITH	6900 Maloney Ave	Key West, FL 33040
81	00127420-000630	LEE JAMES A	12924 Crooked Lake Ln NW	Coon Rapids, MN 55448
82	00127420-000650	LOW KEY CHARTER SERVICES INC	6800 Maloney Ave	Key West, FL 33040
83	00127440-000100	LUKOWSKI JUDITH ANN	2200 NW 24th St	Gainesville, FL 32605
84	00127440-000300	LUKOWSKI JUDITH ANN	4701 NE 40th Ter	Gainesville, FL 32609
85	00127420-000658	MAGGIO LEONAJ	PO Box 2147	Key West, FL 33045
86	00127471-000171	MANAGEMENT CONTROLS LLC	PO Box 2058	Auburn, ME 04211
87	00127440-003800	MARLIN INTEGRATED CAPITAL III LLC	C/O MCCANN MICHELLE CPA	Summerland Key, FL 33042
88	00127420-000681	MARY B REAL ESTATE LLC	3802 Eagle Ave	Key West, FL 33040
89	00127420-000648	MCCARTHY CHRISTOPHER	PO Box 249	Seabrook, NH 03873
90	00127440-001800	MCKENDRY BRIAN T REVOCABLE LIVING TRUST 3/31/2016	80 Palm Dr	Key West, FL 33040
91	00127420-000644	MCSWEENEY MIKE	1422 Harmony St	New Orleans, LA 70115
92	00127430-000210	MICK CAROL L	PO Box 763	Durham, NH 03824
93	00127430-000103	MILES GAY C	404 Sandfiddler Ct	Morehead City, NC 28557
94	00127440-003200	MONTAGUE JUDITH	32 B 9th Ave	Key West, FL 33040
95	00127420-000684	MOREAN WILLIAM D LIVING TRUST 4/7/81 AND REST 11/3/93	2201 4th St N	KEY WEST, FL 33040
96	00127420-000606	MORGAN HUGH J	404 SOUTH ST	Westfield, IN 46074
97	00127471-000118	MY BOY CLYDE LLC	15859 Little Eagle Creek Ave	Summerland Key, FL 33042
98	00127420-000666	NASET PROPERTIES LLC	20717 6th Ave W	Towson, MD 21204
99	00127471-000179	NEUBERGER RENE AMEN AND RESTATE INTER VIVOS DEC TR	502 Washington Ave	Key West, FL 33040
100	00126200-001200	NIX CATHERINE	6900 Maloney Ave	Key West, FL 33040
101	00126200-001700	NODAL ALLISON	6900 Maloney Ave	Naples, FL 34108
102	00127430-000207	OCEANSIDE GRANTOR TRUST 5/30/2018	PO Box 787	Key West, FL 33041
103	00127471-000213	OYEME IV LLC	105 E St	Hampton, VA 23661
104	00127420-000633	OYSTER POINT PROPERTIES LLC	95510 Overseas Hwy	Key Largo, FL 33037
105	00127420-000677	PORTER POWELL DOUGLAS	3535 17th Ter	Key West, FL 33040
106	00127420-000642	POWELL LETSIA	1298 Isabel Dr	Sanibel, FL 33957
107	00127471-000296	RAISBECK DAVID W	1107 Key	Key West, FL 33040
108	00133760-000157	RAY JEREMY	2903 Falling Maple Dr NW	Wilson, NC 27896
109	00127440-000600	REHM JR ALFRED F	6900 Maloney Ave	Wilmington, NC 28405
110	00127420-000672	RICHARDS DEAN ALLEN JR AND SIDWELL SANDRA MAY LIV TRUS	21 Parker Ave	Key West, FL 33040
111	00126200-000020	RIVERO MELISSA A	PO Box 125	Newport, RI 02840
112	00127420-000619	ROGGERO HARRY JR LIVING TRUST 10/1/2012	114 Sindair Dr	Austinburg, OH 44010
113	00127420-000631	ROWLEY PATRICIA M	7600 Landmark Way	Norton Shores, MI 49441
114	00127471-000122	SALERNO ANTHONY L	29550 W Cahill Ct	Greenwood Village, CO 80111
115	00127440-001900	SCHOEPKE CRAIG	610 Via Ravello	Big Pine Key, FL 33043
116	00127430-000111	SCHOEPKE CRAIG A	PO Box 420488	Irving, TX 75039
117	00127420-000651			

120 00127420-000646 SIMONDS ROBERT BRADLEY
121 00133760-000158 SIMS NANCY W
122 00127420-000636 SMITH KEITH A
123 00127420-000637 SMITH KEITH MD PROFITSHARING PLAN 1/1/1987
124 00127471-000101 SPANISH FLY ENTERPRISES INC
125 00127471-000180 SPELOS LOUIS G REV TRUST 01/13/2004
126 00127477-000124 SPIROS JAMES D TRUST 2/22/2013
127 00127420-000665 STARK JOHN TRUST AGREEMENT 12/15/1995
128 00127430-000101 STUURSMAN ANN M
129 00127440-001500 THE SERENOA GROUP LLC
130 00126200-000000 TORTUGA WEST HOMEOWNERS ASSOC
131 00126200-001800 TORTUGA WEST HOUSING LLC
132 00127460-000000 UNITED STATES OF AMERICA
133 00121840-000000 USA DEPARTMENT OF FISH AND WILDLIFE
134 00127420-000690 WALLY WORLD PROPERTIES LLC
135 00127420-000671 WALTERS CHARLES D
136 00127430-000104 WANG ANN
137 00127420-000668 WARD MICHAEL
138 00125950-000000 WELLS KENNETH G
139 00127440-001100 WERLING JR WARREN
140 00127440-000200 WHITEHEAD BRIAN J
141 00127420-000622 WILKES GEORGE A REVOCABLE TRUST 10/27/2004

17131 Seagrape Ln
7760 SW 167th Ter
PO Box 1267
PO Box 1267
1009 Niles Rd
1417 Catherine St
27 E Liberty Ln
5940 Fall River Dr
PO Box 202
1151 Industrial Rd
201 Front St
210 Front St
C/O FEDERAL AVIATION ADMINISTRATION - US DEPT OF TRANSF 800 Independence SW Ave
1875 Century Blvd NE
C/O MCCANN MICHELLE
525 Du Pont Ln
5960 Peninsular Ave
5967 Gordon Rd
311 Calocsa Estates Dr
PO Box 420152
49 Sunset Key Dr
143 Rainbow Dr

Sugarloaf Key, FL 33042
Palmetto Bay, FL 33157
Sunas, WA 98295
Sunas, WA 98295
Summerland Key, FL 33042
Key West, FL 33040
Danville, IL 61832
New Port Richey, FL 34655
Macatawa, MI 49434
Port Saint Joe, FL 32456
Key West, FL 33040
Key West, FL 33040
Washington, DC 20591
Atlanta, GA 30345
Sugarloaf Key, FL 33042
Key West, FL 33040
Key West, FL 33040
Hickory, NC 28602
Labelle, FL 33935
Summerland Key, FL 33042
Key West, FL 33040
Livingston, TX 77399

1018 TRUMAN LLC
PO Box 856
Powder Springs, GA 30127

3 G'S KEYS LLC
8541 Belle Meade Dr
Fort Myers, FL 33908

6003 PENINSULA LLC
224 Key Haven Rd
Key West, FL 33040

AMBUSH HOOK LINE AND SINKER LLC
5600 Pennock Point Rd
Jupiter, FL 33458

ANN ANN
137 Simonton St
Key West, FL 33040

APKW HOLDINGS LLC
PO Box 450
Chestertown, MD 21620

APPELLIS MICHEL
1414 Newton St
Key West, FL 33040

ASPINWALL FAMILY TR AG 5/18/2011
316 Nautilus Ct
Fort Myers, FL 33908

ASPINWALL GARY
5823 Riverside Ln
Fort Myers, FL 33919

BACKWALL PARTNERS LLC
3605 S Beach Dr
Tampa, FL 33629

BACLE MONICA
15 Amaryllis Dr
Key West, FL 33040

BAILEY PROPERTIES LLC
5601 2nd St W
Lehigh Acres, FL 33971

BARBER BERENICE
6900 Maloney Ave
Key West, FL 33040

BARRETT PAUL
PO Box 5888
Key West, FL 33045

BARTON JR DONALD J
1502 United St
Key West, FL 33040

BEAM DAVID J
6900 Maloney Ave
Key West, FL 33040

BENEDETTO GEORGE M
4421 Jefferson Hwy
Jefferson, LA 70121

BENEDETTO GEORGE
4421 Jefferson Hwy
Jefferson, LA 70121

BENNETT GLENN
350 Park Dr
Moorestown, NJ 08057

BENNETT RICHARD B REV TRUST 05/09/2005
5967 Gordon Rd
Hickory, NC 28602

BEVERIDGE MARK RICHARD
425 Caroline St
Key West, FL 33040

BIRMINGHAM IRONWORKS INC
9107 Cherry Rd
Vermilion, OH 44089

BLANCO LIANA M
6900 Maloney Ave
Key West, FL 33040

BLUE WATER OE LLC
702 Commercial St
Emporia, KS 66801

BLUEWATER INVESTMENT LP
142 John F Kennedy Dr
Lake Worth, FL 33462

BOWEN ALFRED
815 Peacock
Key West, FL 33040

BOYD JOHN L
6781 Olive Branch Rd
Oregonia, OH 45054

C SERVICE LLC
3410 Ridgewood Rd NW
Atlanta, GA 30327

CALYPSO WATER SPORTS AND CHARTER
257 Atlantic Blvd
Key Largo, FL 33037

CALYPSO WATER SPORTS AND CHARTER
257 Atlantic Blvd
Key Largo, FL 33037

CARDENAS DEBORAH H/W
809 Fleming St
Key West, FL 33040

CASTRO RICARDO F
6900 Maloney Ave
Key West, FL 33040

CAYO HUESO INVESTMENTS LNC
6511 Maloney Ave
Key West, FL 33040

CHEYENNE HOLDINGS LIMITED PARTNEI
2201 4th St N
Saint Petersburg, FL 33704

COLLINS J FRED
63 Dolphin Cove Quay
Stamford, CT 06902

CONKLIN REID
3314 Northside Dr
Key West, FL 33040

COOPER DIANE
1108 Truman Ave
Key West, FL 33040

CORBITT JOHN D
142 John F Kennedy Dr
Atlantis, FL 33462

COTTIS JOHN DEC TRUST 5/28/2008
17258 Dolphin St
Sugarloaf, FL 33042

CVS OF SE MISSOURI PROFIT SHARING
662 Paloma Cir
Mesquite, NV 89027

DASHER TED
4300 10th Ave S
Birmingham, AL 35222

DBGB REVOCABLE LIVING TRUST 7/10/2
C/O BERRYHILL DONALD J AND GLENNA
26 Hina St
Hilo, HI 96720

DBGB REVOCABLE LIVING TRUST
C/O BERRYHILL GLENNA TRUSTEE
26 Hina St
Hilo, HI 96720

DELPHFISHING MEDIA INC
183 Venetian Way
Summerland Key, FL 33042

DEMANNEY ROY
804 25th Ave W
Palmetto, FL 34221

DEMAURO KIMBERTLY CURRY
17195 Kingfish Ln W
Summerland Key, FL 33042

DUKE JOHN O REV TRUST 10/11/2013
28555 Jolly Roger Dr
Summerland Key, FL 33042

EDEA ANTONIO OF FLORIDA LLC
14 Nassau Dr
Metairie, LA 70005

EG ENTERPRISES LLC
6758 Danah Ct
Fort Myers, FL 33908

ENVECORE LLC
108 13TH St
Wilmington, DE 19801

FINSTROM JON K
3949 Evans Ave
Fort Myers, FL 33901

FLEMING ENTERPRISES LLC
16101 La Grande Dr
Little Rock, AR 72223

FOLEY WALTER AND KAY TRUST 4/16/07
875 W Loop 304
Crockett, TX 75835

FOURNIER ROXANN
6900 Maloney Ave
Key West, FL 33040

FOWLER CHARLES
7251 NW 6th St
Plantation, FL 33317

FOWLER CONNIE L
1716 South St
Key West, FL 33040

FREE SALLY A
136 SW 58th St
Cape Coral, FL 33914

FRENCH SCOTT
7B-20-22 ONSLOW AVE
ELIZABETH BAY, NSW 2011 SW 2011

FUGARI AIR LLC
PO Box 958
Canyon, TX 79015

GARRITANO ANTHONY
5960 Peninsular Ave
Key West, FL 33040

GAYNOR RICHARD G
2320 Drusilla Ln
Baton Rouge, LA 70809

GIBBS JON M
703 Greens Ave
Winter Park, FL 32789

GULFSIDE MARINA CORP
7685 NW 12th St
Miami, FL 33126

HARLOW JAMES MYRON DEC TR 12/7/20
16657 Holly Ln
Summerland Key, FL 33042

HARLOW JAMES MYRON DECLARATION
16657 Holly Ln
Summerland Key, FL 33042

HAYMAKER JAMES
326 Whitehead St
Key West, FL 33040

HENDERSON ROBIN M
PO Box 2515
Key West, FL 33045

HOLMES PETER F
12 Wildwood Ln
Scarborough, ME 04074

HUB FLORIDA LLC
2673 Solomons Island Rd
Edgewater, MD 21037

HUNKER WAYDE
7 Park Meadows Dr
Fairfield, OH 45014

HURST BASIL J
246 McCausley Rd
Hubert, NC 28539

HURST BASIL J
5960 Peninsular Ave
Key West, FL 33040

JACQUES GARY L REVOCABLE TRUST 6
812 Meadow Ln
South Hutchinson, KS 67505

JONES LLC
1023 Johnson St
Key West, FL 33040

KEY WEST 2016 LLC
200 Spectrum Center Dr
Irvine, CA 92618

KEY WEST 80 LLC
26640 Edgewood Rd
Excelsior, MN 55331

KEYSTER LLC
12003 NW 112th Ave
Alachua, FL 32615

KIMBALL EDWARD ANDREW
PO Box 1762
Key West, FL 33041

KWG PROPERTIES LLC
505 Wellington Way
Lexington, KY 40503

LAMB BARBARA H REV TRUST 06/29/198
832 97th Ave N
Naples, FL 34108

LAYNE JUDITH
6900 Maloney Ave
Key West, FL 33040

LEE JAMES A
12924 Crooked Lake Ln NW
Coon Rapids, MN 55448

LOW KEY CHARTER SERVICES INC
6800 Maloney Ave
Key West, FL 33040

LUKOWSKI JUDITH ANN
2200 NW 24th St
Gainesville, FL 32605

LUKOWSKI JUDITH ANN
4701 NE 40th Ter
Gainesville, FL 32609

MAGGIO LEONA J
PO Box 2147
Key West, FL 33045

MANAGEMENT CONTROLS LLC
PO Box 2058
Auburn, ME 04211

MARLIN INTEGRATED CAPITAL III LLC
180 Sugarloaf Dr
Summerland Key, FL 33042

MARLIN INTEGRATED CAPITAL III LLC
C/O MCCANN MICHELLE CPA
180 Sugarloaf Dr
Summerland Key, FL 33042

MARY B REAL ESTATE LLC
3802 Eagle Ave
Key West, FL 33040

MARY B REAL ESTATE LLC
3802 EAGLE AVE
KEY WEST, FL 33040

MCCARTHY CHRISTOPHER
PO Box 249
Seabrook, NH 03873

MCKENDRY BRIAN T REVOCABLE LIVIN
80 Palm Dr
Key West, FL 33040

MCSWEEN MIKE
1422 Harmony St
New Orleans, LA 70115

MICK CAROL L
PO Box 763
Durham, NH 03824

MILES GAY C
404 Sandfiddler Ct
Morehead City, NC 28557

MONTAGUE JUDITH
32 B 9th Ave
Key West, FL 33040

MOREAN WILLIAM D LIVING TRUST 4/7/8
2201 4th St N
Saint Petersburg, FL 33704

MOREAN WILLIAM D LV TR 4/7/81 AND F
2201 4th St N
Saint Petersburg, FL 33704

MORGAN HUGH J
404 SOUTH ST
KEY WEST, FL 33040

MY BOY CLYDE LLC
15859 Little Eagle Creek Ave
Westfield, IN 46074

NASET PROPERTIES LLC
20717 6th Ave W
Summerland Key, FL 33042

NEUBERGER RENE AMEN AND RESTATI
502 Washington Ave
Towson, MD 21204

NIX CATHERINE
6900 Maloney Ave
Key West, FL 33040

NODAL ALLISON
6900 Maloney Ave
Key West, FL 33040

OCEANSIDE GRANTOR TRUST 5/30/2018
C/O SILVERLEAF ADVISORS LLC, TRUST
9115 STRADA PL #5407
Naples, FL 34108

OYEME IV LLC
PO Box 787
Key West, FL 33041

OYSTER POINT PROPERTIES LLC
105 E St
Hampton, VA 23661

PORTER POWELL DOUGLAS
95510 Overseas Hwy
Key Largo, FL 33037

POWELL LETISIA
3535 17th Ter
Key West, FL 33040

RAISBECK DAVID W
1298 Isabel Dr
Sanibel, FL 33957

RAY JEREMY
1107 Key
Key West, FL 33040

REHM JR ALFRED F
2903 Falling Maple Dr NW
Wilson, NC 27896

RICHARDS DEAN ALLEN JR AND SIDWEL
C/O RICHARDS DEAN ALLEN JR TRUSTE
1719 Pembroke Jones Dr
Wilmington, NC 28405

RIVERO MELISSA A
6900 Maloney Ave
Key West, FL 33040

ROGGERO HARRY J JR LIVING TRUST 10
21 Parker Ave
Newport, RI 02840

ROWLEY PATRICIA M
PO Box 125
Austinburg, OH 44010

ROWLEY PATRICIA
PO Box 125
Austinburg, OH 44010

SALERNO ANTHONY L
114 Sinclair Dr
Norton Shores, MI 49441

SCHOEPKE CRAIG A
29550 W Cahill Ct
Big Pine Key, FL 33043

SCHOEPKE CRAIG
7600 Landmark Way
Greenwood Village, CO 80111

SEAFOR HOLDINGS LLC
610 Via Ravello
Irving, TX 75039

SH MARINAS 6000 LLC
506 Fleming St
Key West, FL 33040

SHATT J MURRAY
PO Box 420488
Summerland Key, FL 33042

SHEFFLER BARBARA K
2510 CHAGRIN RIVER Rd
Chagrin Falls, OH 44022

SIMONDS ROBERT BRADLEY
17131 Seagrape Ln
Sugarloaf Key, FL 33042

SIMS NANCY W
7760 SW 167th Ter
Palmetto Bay, FL 33157

SMITH KEITH A
PO Box 1267
Sumas, WA 98295

SMITH KEITH MD PROFITSHARING PLAN
PO Box 1267
Sumas, WA 98295

SPANISH FLY ENTERPRISES INC
1009 Niles Rd
Summerland Key, FL 33042

SPELIOS LOUIS G REV TRUST 01/13/2004
1417 Catherine St
Key West, FL 33040

SPIROS JAMES D TRUST 2/22/2013
27 E Liberty Ln
Danville, IL 61832

STARK JOHN TRUST AGREEMENT 12/15/
5940 Fall River Dr
New Port Richey, FL 34655

STUURSMA ANN M
PO Box 202
Macatawa, MI 49434

THE SERENOA GROUP LLC
1151 Industrial Rd
Port Saint Joe, FL 32456

TORTUGA WEST HOMEOWNERS ASSOC
201 Front St
Key West, FL 33040

TORTUGA WEST HOUSING LLC
201 Front St
Key West, FL 33040

TORTUGA WEST HOUSING LLC
210 Front St
Key West, FL 33040

UNITED STATES OF AMERICA
C/O FEDERAL AVIATION ADMINISTRATIO
800 Independence SW Ave
Washington, DC 20591

USA DEPARTMENT OF FISH AND WILDLI
1875 Century Blvd NE
Atlanta, GA 30345

WALLY WORLD PROPERTIES LLC
C/O MCCANN MICHELLE
180 Sugarloaf Dr
Sugarloaf Key, FL 33042

WALTERS CHARLES D
525 Du Pont Ln
Key West, FL 33040

WANG ANN
5960 Peninsular Ave
Key West, FL 33040

WARD MICHAEL
5967 Gordon Rd
Hickory, NC 28602

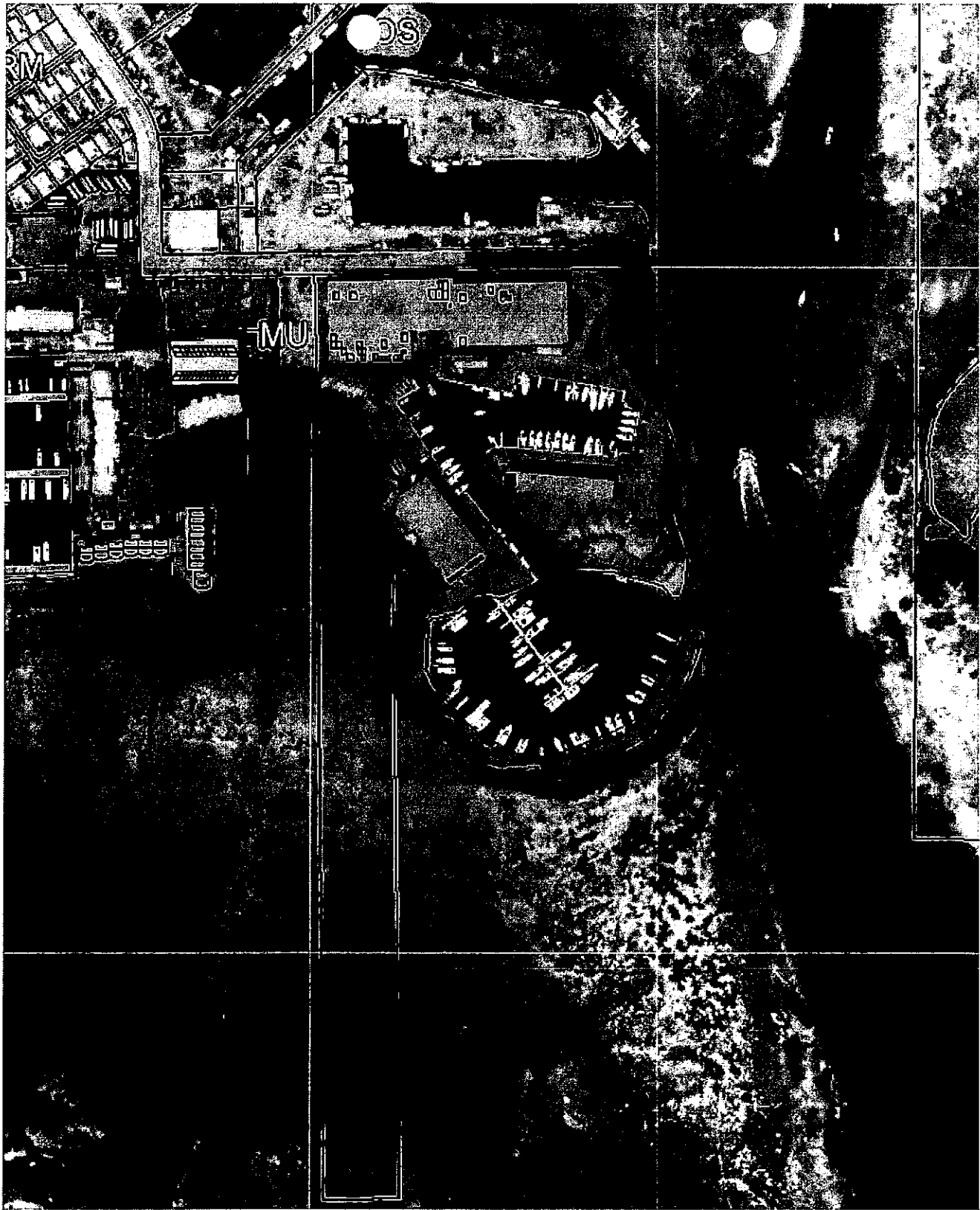
WELLS KENNETH G
311 Caloosa Estates Dr
Labelle, FL 33935

WERLING JR WARREN
PO Box 420152
Summerland Key, FL 33042

WHITEHEAD BRIAN J
49 Sunset Key Dr
Key West, FL 33040

WHITEHEAD BRIAN
49 Sunset Key Dr
Key West, FL 33040

WILKES GEORGE A REVOCABLE TRUST
143 Rainbow Dr
Livingston, TX 77399



RH

MC



AGENT AUTHORIZATION FORM

Date of Authorization: 12 / 13 / 2019
Month Day Year

I hereby authorize Barton W. Smith / SMITH HAWKS, PL be listed as authorized agent
(Print Name of Agent)

representing SH MARINAS 6000, LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Land Use Designation Zoning Map Amendment and Development Agreement Amendment
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

See Attached

STOCK ISLAND

Lot Block Subdivision

Key (Island)

00127480-000000

1161667

Real Estate (RE) Number

Alternate Key Number

6000 PENINSULAR AVE, STOCK ISLAND

5

Street Address (Street, City, State & Zip Code)

Approximate Mile Marker

Authorized Agent Contact Information:

138 SIMONTON STREET, KEY WEST, FLORIDA 33040

Mailing Address (Street, City, State and Zip Code)

(305) 296-7227

BART@SMITHHAWKS.COM

Work Phone

Home Phone

Cell Phone

Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature]

Printed Name of Property Owner: Robert A. Spottiswood Jr., VP of SH Marinas 6000, LLC

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me this 16th day of December, 2019

by Robert A. Spottiswood Jr., who is personally known to me OR produced
(Print Name of Person Making Statement)

as identification.

(Type of ID Produced)

[Signature]
Signature of Notary Public

Cindy Sawyer

Print Type or Stamp Commissioned Name of Notary Public

My commission expires:



Legal Description

Parcel A:

A parcel of land on Stock Island, Monroe County, Florida, being all of Lots 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15 and 16 and portions of Lots 4 and 17, of Square 29, as shown on STOCK ISLAND MALONEY SUBDIVISION, as recorded in Plat Book 1, at Page 55, of the Public Records of the said Monroe County; said parcel being described by metes and bounds as follows:

Commence at the Southwest corner of the said Square 29 and run thence East along the South boundary line of the said Square for a distance of 196.0 feet to the Point of Beginning of the parcel of land herein described; thence North and parallel with the East boundary of the said Square for a distance of 80.0 feet; thence West and parallel with the South boundary of the said Square for a distance of 30.0 feet; thence North and parallel with the East boundary line of the said Square for a distance of 167.26 feet to a point on the North boundary line of said Square; thence North 78°58'03" East along the said North boundary line of the said Square for a distance of 8.4 feet to a point of deflection; thence East and continuing along the said North boundary line of the said Square for a distance of 326.0 feet to the Northeast corner of the said Square; thence South along the East boundary of the said Square for a distance of 250 feet to the Southeast corner of said Square; thence West along the South boundary line of the said Square for a distance of 304.0 feet back to the Point of Beginning.

And

Parcel B:

A parcel of land on Stock Island, Monroe County, Florida, and being Block 26 and a portion of East Laurel Avenue, both as shown on STOCK ISLAND MALONEY SUBDIVISION, as recorded in Plat Book 1, Page 55, of the Public Records of the said Monroe County; said parcel being described by the metes and bounds as follows:

Begin at the intersection of the West right of way line of Fourth Street with the South right of way line of East Laurel Avenue and run thence West along the South right of way line of the said East Laurel Avenue for a distance of 326 feet, more or less, to the Southeasterly right of way line of Highway U.S. No. 1; thence Northeasterly along the Southeasterly right of way line of the said Highway U.S. No. 1 for a distance of 340 feet, more or less, to the Northeast corner of the said Block 26, said Northeast corner of the said Block 26 being North of the Point of Beginning; thence South for a distance of 90 feet, more or less, back to the Point of Beginning.

And

Parcel C:

A portion of Lot 17, Square 29, as shown on the plat of STOCK ISLAND MALONEY SUBDIVISION as recorded in Plat Book 1, at Page 55, of the Public Records of Monroe County, Florida and being more particularly described by metes and bounds as follows:

Commence at the Southwest corner of the said Square 29; thence North 89°57'56" East along the Northerly right of way line of MacDonald Avenue for 196.00 feet to the Point of Beginning; thence North 00°02'04" West for a distance of 80.00 feet; thence South 89°57'56" West for a distance of 30.00 feet; thence South 00°02'04" East for a distance of 80.00 feet to the said Northerly right of way line of MacDonald Avenue; thence North 89°57'56" East along the said Northerly right of way line of MacDonald Avenue for 30.00 feet to the Point of Beginning.

And

Parcel One:

That portion of Fourth Street, Stock Island, Monroe County, Florida, lying between the North right of way line of MacDonald Avenue and the South right of way line of U.S. Highway No. 1 more particularly described as follows:

Begin at the Southeast corner of Lot 11, Block 29, Plat Book 1, Page 55, as found in the Public Records of Monroe County, Florida; thence North 00°19'00" East along the Easterly property lines of Lots 11 and 10, Block 29 and the Easterly line of that parcel on East Laurel Avenue abandoned by Monroe County Resolution 294-1989 and the Easterly property line of Block 26 to a point on the Southerly right of way line of U.S. Highway No. 1; thence North 81°15'35" East a distance of 25.32 feet along the Southerly right of way line of U.S. Highway No. 1 to a point; thence South 00°19'00" West a distance of 337.31 feet, along the centerline of Fourth Street to a point; thence North 89°41'00" West a distance of 25 feet along the North right of way line of MacDonald Avenue to the Point of Beginning.

Description of the Property

Parcel A:

On the island known as stock island and described according to George L. McDonald's plat of a part of said stock island, recorded in Plat Book Number one (1), Page 55, Monroe County, Florida public records, as follows:

Lots five (5) and six (6) in Block Sixty-one (61); together with any riparian rights thereunto belonging or in anywise appertaining. Also a parcel of bay bottom land in the Straits of Florida, South of and adjacent to Lots 5 and 6, Block 61 of the plat of stock island, Monroe County, Florida and being recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of said Block 61 of the plat of stock island, bear East for a distance of 400.00 feet to a point; thence bear South for a distance of 255.20 feet to the point of beginning of the parcel of bay bottom land hereinafter described, said point of beginning also being on the shoreline of the straits of Florida; from said point of beginning, continue bearing South for a distance of 2178 feet, more or less, to a point; thence at right angles and East for a distance of 200 feet to a point; thence at right angles and North for a distance of 2178 feet, more or less, back to a point on the shoreline; thence meander to the shoreline in a Westerly direction for a distance of 200 feet, more or less, back to the point of beginning. Lying and being in Section 35, Township 67 South, Range 25 East, Monroe County, Florida.

Parcel B:

On the island known as stock island and described according to George L. McDonald's plat of a part of said stock island, recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, as follows:

Lot 7 in Block 61, commencing at a point on Peninsular Avenue, 600 feet from the corner of Peninsular Avenue, and Maloney Avenue, running thence along Peninsular Avenue, in a Easterly direction 200 feet and extending back at both ends of said line and at right angles to said Peninsular Avenue, in a Southerly direction to the waters of the gulf.

Also,

A parcel of Submerged land in Hawk Channel in Section 36, Township 67 South, Range 25 East, Monroe County, Florida, more particularly described as follows:

Beginning at the Northeast corner of Lot 7, Block 61, of a plat titled "All Lots 1, 2, 3, 5, 6, Section 35; Lot 2 Section 36; Lot 3, Section 26; Lot 2, Section 34; Stock Island, Township 67 South, Range 25 East." Recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, run East, for a distance of 420 feet. Thence run South for a distance of 820 feet, thence run West for a distance of 620 feet, thence run North, for a distance of 500 feet, more or less to the Southwest corner of said Lot 7, Block 61; thence meander the shoreline of said Lot 7, Block 61, in an Easterly and Northerly direction back to the point of beginning.

Parcel C:

A parcel of land, and a portion of a Harbor, located in Section 36, Township 67 South, Range 25 East,

Stock Island, Monroe County, Florida, and being more particularly described as follows:

Commence at the Southeasterly corner of Maloney Avenue and Peninsular Avenue, Stock Island, Monroe, County, Florida; thence East along the South right-of-way of Peninsular Avenue for 1220.12 feet; thence South 237.09 feet to the mean water line of Boca Chica Channel (Straits of Florida), as established on February 6-8, 1984 in accordance with Chapter 177, Part II of the laws of Florida (N.G.V.D. Elev. 0.78), and the point of beginning; thence meander said mean high water line in a Southeasterly and Southwesterly direction with the following metes and bounds; South 24° 04' 03" East for 41.69 feet; thence South 62° 38' 11" East for 19.12 feet; thence South 01° 41' 49" East for 10.59 feet; thence South 24° 28' 37" East for 28.04 feet; thence South 62° 09' 03" East for 39.39 feet; thence South 03° 24' 06" East for 30.50 feet; thence South 25° 36' 43" East for 159.75 feet; thence South 74° 09' 24" West for 41.92 feet; thence South 21° 26' 38" West for 57.27 feet; thence South 10° 09' 39" East for 15.15 feet; thence leaving said mean high water line, West for 93.01 feet; thence North 355.51 feet to the point of beginning.

Parcel D:

A line meandering the Riparian Upland parcel, which was filled prior to July 01, 1975, lying on and adjacent to the Straits of Florida in Section 36, Township 67 South, Range 25 East, Stock Island, Monroe County, Florida and being more particularly described as follows:

Commence at the Northwest corner of Lot 1, Block 61, "George L. McDonald's plat of Stock Island" according to the plat thereof, as recorded in Plat Book 1, Page 55 of the public records of Monroe County, Florida, said point also being the intersection of the Southerly right of way line of Peninsular Avenue and the Easterly right of way of Maloney Avenue; thence East along the said Southerly right of way line Peninsular Avenue for 1220.12 feet; thence South for 820.00 feet; thence North 90° 00' 00" West a distance of 253.94 feet to the mean high water line lying along a concrete seawall; thence West a distance of 270.51 feet to the mean high water line of the Straits of Florida and the point of beginning; thence meander the said mean high water line (elevation 0.78 as located on February 6-8, 1984) for the following metes and bounds thence South 06° 39' 55" East a distance of 13.57 feet; thence South 01° 24' 10" West a distance of 23.35 feet; thence South 22° 37' 25" West a distance of 26.52 feet; thence South 37° 58' 46" West a distance of 7.90 feet; thence South 20° 19' 26" West a distance of 38.26 feet; thence South 60° 38' 26" East a distance of 19.18 feet; thence South 06° 04' 23" West a distance of 15.61 feet; thence South 85° 05' 18" West a distance of 28.79 feet; thence South 21° 19' 54" West a distance of 96.92 feet; thence South 12° 39' 37" East a distance of 76.34 feet; thence South 41° 05' 57" East a distance of 57.42 feet; thence South 44° 50' 22" East a distance of 53.30 feet; thence South 68° 57' 35" East a distance of 41.86 feet; thence South 19° 23' 41" East a distance of 28.68 feet; thence South 52° 51' 02" East a distance of 48.91 feet; thence South 28° 11' 22" East a distance of 70.63 feet; thence South 68° 54' 31" East a distance of 43.30 feet; thence North 85° 00' 12" East a distance of 40.22 feet; thence North 86° 54' 27" East a distance of 66.20 feet; thence South 38° 57' 33" East a distance of 57.90 feet; thence North 76° 13' 35" East a distance of 58.49 feet; thence North 65° 57' 31" East a distance of 117.63 feet; thence North 59° 25' 13" East a distance of 97.46 feet; thence North 38° 31' 22" East a distance of 75.96 feet; thence North 38° 41' 03" East a distance of 43.44 feet; thence North 30° 02' 00" East a distance of 78.59 feet; thence North 20° 30' 15" East a distance of 86.15 feet; thence North 14° 41' 49" East a distance of 44.12 feet; thence North 63° 36' 44" West a distance of 32.35 feet; thence South 69° 54' 51" West a distance of 32.61 feet; thence South 22° 01' 01" West a distance of 40.70 feet; thence South 28° 05' 52" West a distance of 74.87 feet; thence South 31° 16' 23" West a distance of 105.45 feet; thence South 09° 58' 35" West a distance of 26.65 feet; thence South 56° 36' 51" West a distance of 52.92 feet; thence South 67° 51' 11" West a distance of 157.26 feet; thence South 68° 36' 57" West a distance of 49.19 feet; thence North 84° 43' 18" West a distance of 89.46 feet; thence North 61° 55' 36" West a distance of 116.39 feet; thence North 43° 05' 23" West a distance of 164.87 feet; thence North 24° 00' 54" West a distance of 53.88 feet; thence North 02° 23' 52" East a distance of 65.21 feet; thence North 04° 46' 21" East a distance of 59.18 feet; thence North 44° 47' 37" East a distance of 14.49

feet; thence North 87°05'57" East a distance of 7.84 feet; thence North 54°52'52" East a distance of 61.46 feet; thence North 45°22'45" East a distance of 43.01 feet; thence North 60°13'02" East a distance of 19.78 feet; thence North 76°17'21" East a distance of 15.54 feet; thence South 89°14'33" East a distance of 23.37 feet; thence South 76°01'39" East, a distance of 19.75 feet; thence North 83°30'30" East a distance of 7.49 feet; thence North 71°47'24" East a distance of 31.99 feet; thence North 68°11'08" East a distance of 30.92 feet; thence North 55°17'15" East a distance of 19.50 feet; thence South 33°18'08" East a distance of 3.93 feet; thence North 57°16'39" East a distance of 22.00 feet; thence North 36°35'34" West a distance of 9.58 feet; thence West for 270.51 feet to the point of beginning.

Parcel G:

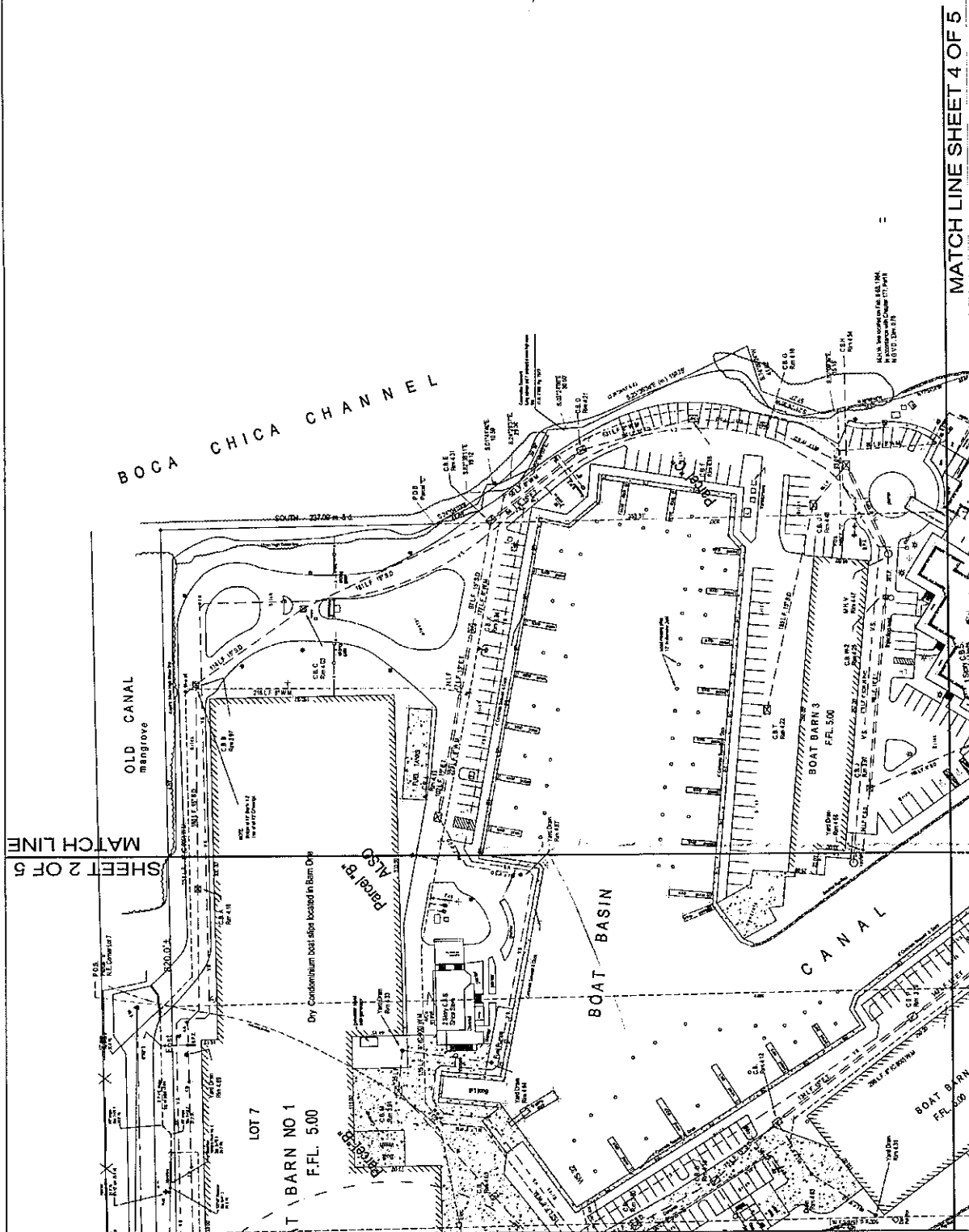
A parcel of land in Section 36, Township 67 South, Range 25 East, Stock Island, Monroe County, Florida and being more particularly described as follows:

Commence at the Southeasterly corner of Maloney Avenue and Peninsular Avenue, Stock Island, Monroe County, Florida; thence East along the South right-of-way of Peninsular Avenue for 1,220.12 feet; thence South 592.60 feet to the point of beginning; thence continue South 227.40 feet to the mean high water line of Lagoon and Boca Chica Channel (Straits of Florida), as established on Feb 6-8, 1984 in accordance with Chapter 177, Part II of the Laws of Florida (N.G.V.D., Elev 0.78); thence meander said mean high water line in a Southeasterly, Easterly, and Northerly direction with the following metes and bounds; South 80°38'33" East for 26.87 feet; thence South 73°46'26" East for 57.64 feet; thence South 35°25'39" East for 37.75 feet; thence North 85°49'19" East for 28.40 feet; thence North 15°18'51" East for 32.71 feet; thence North 06°19'23" East for 59.65 feet; thence North 09°19'59" West for 13.07 feet; thence North 23°50'47" West for 36.82 feet; thence North 17°54'54" West for 89.86 feet; thence North 10°09'40" West for 54.51 feet; thence leaving said mean high water line, West for 93.01 feet to the point of beginning.

Less and except Key West Harbour Condominium (f/k/a Key West Harbour Yacht Club, a Condominium), pursuant to Amended and Restated Declaration of Condominium for Key West Harbour Condominium, and any exhibits annexed thereto, recorded in Official Records Book 2632, Page 1581, and First Amendment to Amended and Restated Declaration of Condominium recorded in Official Records Book 2762, Page 1534, according to the public records of Monroe County, Florida.

AND

UNIT WS-32 AND UNIT B1-L1-20 OF KEY WEST HARBOUR CONDOMINIUM (F/K/A KEY WEST HARBOUR YACHT CLUB, A CONDOMINIUM), PURSUANT TO AMENDED AND RESTATED DECLARATION OF CONDOMINIUM FOR KEY WEST HARBOUR CONDOMINIUM, AND ANY EXHIBITS ANNEXED THERETO, RECORDED IN OFFICIAL RECORDS BOOK 2632, PAGE 1581, AND FIRST AMENDMENT TO AMENDED AND RESTATED DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 2762, PAGE 1534, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, TOGETHER WITH AN UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, AS SET FORTH IN THE SAID DECLARATION.



SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THAT THE SURVEY MEETS THE STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS' RULES AND REGULATIONS PURSUANT TO CHAPTER 64-7, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027. ALSO, THAT THERE ARE NO VIOLATIONS OF ANY OTHER APPLICABLE STATUTES OR RULES.

SUBSCRIBED AND SWORN TO before me this _____ day of _____, 20____.

GIVEN UNDER HAND AND SEAL OF OFFICE.

NOTARY PUBLIC FOR THE STATE OF FLORIDA

COMMISSION EXPIRES _____

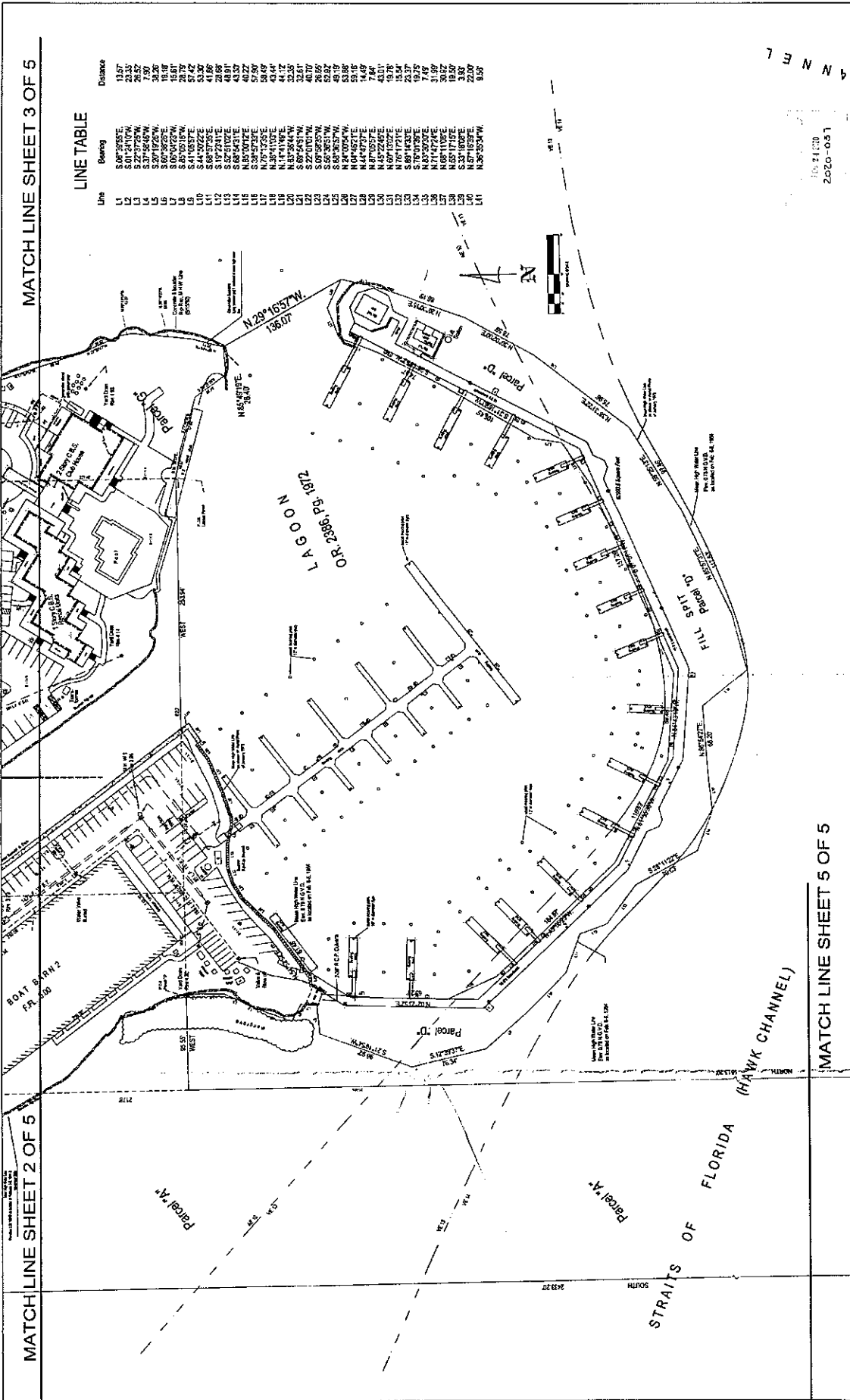
JOB No.	N/A	DRAWN	DRF
FIELD BOOK:	J.C. CAREAGA	REVISED:	EAM
SCALE:	1"=40'	SHEET No.	3 OF 5

Eddie A. Martinez
EDDIE A. MARTINEZ
PROFESSIONAL SURVEYOR AND
MAPPER NO. 13274
STATE OF TEXAS

PROJECT:
6000 PENINSULAR AVENUE
KEY WEST, FL 33040

MONROE COUNTY SURVEYING & MAPPING INC.
SURVEYORS & MAPPERS, CIVIL ENGINEERS
A DIVISION OF ZURWELLE-WHITTAKER, INC (ESTAB. 1926)
1152 NORTHEAST DRIVE #201 ZEPHURUS FL 33440
TEL. (252) 524-4698 OR (252) 280-0485 FAX (252) 531-4596
WWW.WZMCO.COM
CERTIFICATE OF REGISTRATION NO. LB8336





LINE TABLE

Line	Bearing	Distance
L1	S 08° 30' 55" E	13.57
L2	S 01° 24' 10" W	23.35
L3	S 22° 37' 25" W	26.52
L4	S 18° 54' 50" W	18.98
L5	S 30° 18' 25" W	33.30
L6	S 60° 38' 25" E	18.98
L7	S 00° 04' 25" W	15.81
L8	S 41° 03' 25" W	57.42
L9	S 41° 03' 25" W	57.42
L10	S 44° 30' 22" E	53.30
L11	S 68° 37' 35" E	41.86
L12	S 77° 17' 15" E	48.91
L13	S 52° 51' 02" E	48.91
L14	S 68° 54' 51" E	43.57
L15	S 77° 17' 15" E	40.22
L16	S 52° 51' 02" E	48.91
L17	N 75° 13' 25" E	58.59
L18	N 35° 41' 03" E	43.44
L19	N 14° 14' 45" E	44.12
L20	N 35° 41' 03" E	43.44
L21	S 89° 54' 51" W	32.81
L22	S 22° 01' 01" W	46.70
L23	S 07° 58' 25" W	26.59
L24	S 35° 35' 25" W	48.19
L25	S 89° 54' 51" W	53.86
L26	N 24° 00' 54" W	53.86
L27	N 04° 45' 21" E	53.86
L28	N 87° 03' 27" E	7.84
L29	N 45° 22' 45" E	43.51
L30	N 07° 17' 27" E	19.19
L31	N 07° 17' 27" E	23.37
L32	S 89° 14' 33" E	19.75
L33	S 79° 01' 36" E	31.99
L34	N 27° 42' 24" E	31.99
L35	N 68° 11' 05" E	30.52
L36	N 55° 17' 15" E	19.50
L37	N 27° 15' 05" E	22.00
L38	N 36° 35' 34" W	9.55

MONROE COUNTY SURVEYING & MAPPING INC.
SURVEYORS & MAPPERS, CIVIL ENGINEERS
1105 MONROE AVENUE, KEY WEST, FL 33040
TEL: (305) 544-4888 OR (305) 293-2488 FAX: (305) 817-4883
WWW.MONROECS.COM
MEMBER, FLORIDA LAND SURVEYORS COUNCIL, FLORIDA SURVEYING AND MAPPING SOCIETY

PROJECT:
6000 PENINSULAR AVENUE
KEY WEST, FL 33040

DESIGNER:
EDDIE A. MARTINEZ
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA

DATE:
2020-05-17

REVISIONS:

NO.	DATE	DESCRIPTION
1	05-17-20	ISSUED FOR PERMIT

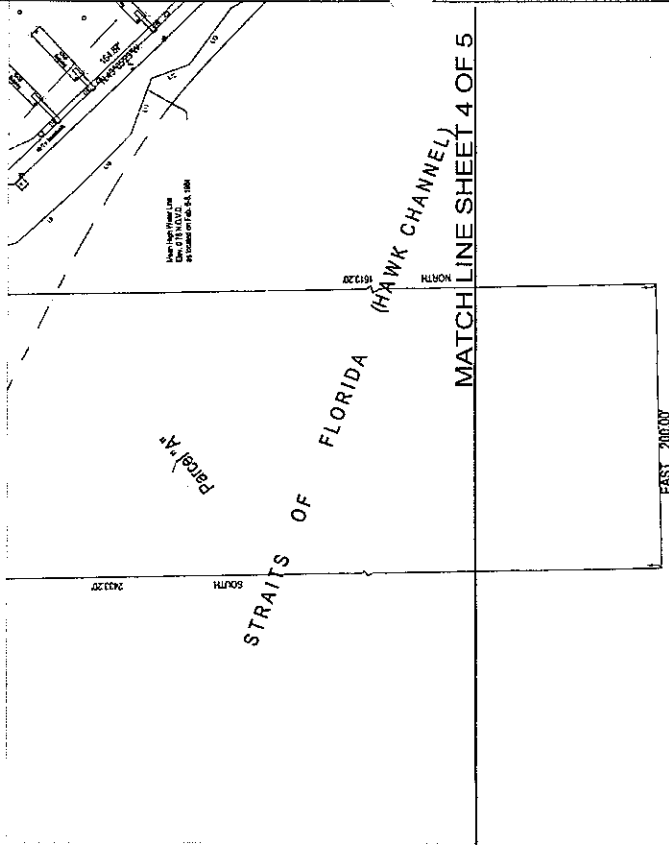
CAD FILE:
2020-05-17

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THE ATTACHED SURVEY WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYING AND MAPPING ENGINEERS, AND THAT THE SURVEY WAS MADE IN ACCORDANCE WITH THE FLORIDA LAND SURVEYORS COUNCIL CODE OF ETHICS AND STANDARDS OF PRACTICE. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, AND I AM NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS SURVEY.

SCHEDULE B-12
Exceptions

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the Survey was recorded, shall be shown as they appear in the public records. **NOT PLOTTABLE**
2. Any right, interest, or claim of parties in possession of the land not shown by the public records. **NOT PLOTTABLE**
3. Any encumbrance, easement, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land. **AS SHOWN**
4. Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after date of Policy, not shown by the public records. **NOT PLOTTABLE**
5. Any dispute as to the boundaries created by a change in the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
6. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
7. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
8. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
9. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
10. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
11. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
12. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
13. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
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15. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
16. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
17. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
18. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
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21. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
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23. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
24. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
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31. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the Survey was recorded, shall be shown as they appear in the public records. **NOT PLOTTABLE**
2. Any right, interest, or claim of parties in possession of the land not shown by the public records. **NOT PLOTTABLE**
3. Any encumbrance, easement, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land. **AS SHOWN**
4. Any lien, for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after date of Policy, not shown by the public records. **NOT PLOTTABLE**
5. Any dispute as to the boundaries created by a change in the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
6. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
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23. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
24. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
25. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
26. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
27. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
28. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
29. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
30. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**
31. Any dispute as to the location of any water body within or adjacent to the land prior to date of Policy, and any adverse claim to all or part of the land. **NOT PLOTTABLE**



REVISED
2019-0-037

JOB No. N/A		DRAWN: DWF	REVISIONS:	SURVEYOR'S CERTIFICATE:	
FIELD BOOK: J.C. CARPENTER	REVISED: FAM			I HEREBY CERTIFY THAT THE ATTACHED SURVEY WAS PREPARED UNDER MY DIRECTORSHIP AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF FLORIDA. I HAVE REVIEWED THE SURVEY AND MAPS PREPARED BY THE SURVEYOR AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE. I HAVE ALSO REVIEWED THE SURVEY AND MAPS PREPARED BY THE SURVEYOR AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE. I HAVE ALSO REVIEWED THE SURVEY AND MAPS PREPARED BY THE SURVEYOR AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE.	
SCALE: 1"=40'	SHEET No. 5 OF 5			EDDIE A. MARTINEZ PROFESSIONAL SURVEYOR STATE OF FLORIDA	



MONROE COUNTY SURVEYING & MAPPING, INC.
SURVEYORS & MAPPERS, CIVIL ENGINEERS
A DIVISION OF ZURWELLE-WHITTAKER, INC. (EST. 1976)
3102 MONROE DRIVE, SUITE 100, KEY WEST, FL 33040
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WWW.MONROECOUNTYSURVEYING.COM

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KEY WEST, FL 33040